



AGENDA

BARTONVILLE TOWN COUNCIL

REGULAR MEETING

January 21, 2020

BARTONVILLE TOWN HALL, 1941 E. JETER, BARTONVILLE, TX 76226

7:00 PM

A. CALL REGULAR MEETING TO ORDER

B. PLEDGE OF ALLEGIANCE

C. PRESENTATIONS

1. Fiscal Year 2018-2019 Audit presentation - William C. Spore, P.C., Certified Public Accountant.

D. PUBLIC PARTICIPATION

If you wish to address the Council, please fill out a "Public Meeting Appearance Card" and present it to the Town Secretary, preferably before the meeting begins. Pursuant to Section 551.007 of the Texas Government Code, citizens wishing to address the Council for items listed as public hearings will be recognized when the public hearing is opened. For citizens wishing to speak on a non-public hearing item, they may either address the Council during the Citizen Comments portion of the meeting or when the item is considered by the Town Council.

E. ANNOUNCEMENTS

Announce recent and upcoming civic and social events.

- Boards and Commissions Appreciation Reception
- Annual Spring Clean Up Day

F. APPOINTED REPRESENTATIVE/LIAISON REPORTS

1. Denton County Emergency Services District #1
2. Police Chief Report - Department Statistics/Activities for December 2019
3. Town Administrator - Monthly Reports: Financial Statement- December 2019; Engineering Report; Animal Control Report.
4. Town Secretary – May 2, 2020 Elections.

G. CONSENT AGENDA

This agenda consists of non-controversial or "housekeeping" items required by law. Items may be approved with a single motion. Items may be removed from the Consent Agenda by any Councilmember by making such request prior to a motion and vote on the Consent Agenda.

1. Consider approval of the December 17, 2019, regular meeting minutes.

2. Consider approval of a resolution of the Town Council of the Town of Bartonville ordering a General Election to be held on May 2, 2020, for the purpose of electing a Mayor and two Councilmembers Places 2 and 4, for two-year terms each; and providing for a joint services contract with Denton County.
3. Consider approval of a resolution of the Town Council of the Town of Bartonville ordering a Special Election to be held May 2, 2020, for the purpose of submitting to the qualified voters of the Town of Bartonville, Texas, a ballot proposition to reauthorize the municipal street maintenance sales and use tax at the rate of one-half of one percent to continue providing revenue for maintenance and repair of municipal streets; and providing for a joint services contract with Denton County.
4. Consider approval of a letter of extension for the CoServ Acceptance of Franchise Ordinance No. 675-19 approved on November 19, 2019; and authorizing the Town Administrator to execute same on behalf of the Town.

H. REGULAR ITEMS

5. Discussion and provide direction on the 2019 Residential Streets project.
6. Update on pedestrian walkway between the Bartonville Store and Bartonville Town Hall.
7. Discuss and consider approval of an ordinance amending Attachment “A” of Section 10 entitled “Rate Adjustment” of the Exclusive Franchise Agreement for Solid Waste Collection authorizing a 2.3% CPI increase for solid waste and a 2.5% increase on disposal and recycle processing on residential, commercial, and roll off services.
6. Public hearing consider an ordinance amending the Town of Bartonville Code of Ordinances, Chapter 14, Exhibit “A,” Article 14.02, Ordinance 361-05, Zoning regulations, to change the zoning designation of Meadowlakes Farm Addition, Lots 2R & 3R, approximately 49.91 acres, from Agriculture District (AG) to Residential Estates 5 (RE-5). The tracts of land are located at 785 & 531 West Jeter, Bartonville, Texas. ***(The Planning and Zoning Commission recommended approval by a vote of 5 to 0 at their January 8, 2020, meeting.)***
7. Discussion on Equestrian Centers.

I. FUTURE AGENDA ITEMS/REQUESTS BY COUNCILMEMBERS TO BE ON NEXT AGENDA

J. ADJOURNMENT

I do hereby certify that the Notice of Meeting was posted on the bulletin board at Town Hall of the Town of Bartonville, Texas, a place convenient and readily accessible to the public at all times and said Notice was posted on the following date and time: Friday, January 17, 2020, at 5:40 p.m. at least 72 hours prior to the time of said meeting.



Tammy Dixon, TRMC, CMC, Town Secretary

The City Council reserves the right to adjourn into a closed meeting or executive session as authorized by Texas Government Code, Sections 551.001, et seq. (the Texas Open Meetings Act) on any item on its open meeting agenda in accordance with the Texas Open Meetings Act, including, without limitation Sections 551.071-551.088 of the Texas Open Meetings Act. Any final action, decision, or vote on a matter deliberated in a closed meeting will only be taken in an open meeting that is held in compliance with Texas Government Code, Chapter 551.

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Monthly Finance Report As of December 31, 2019

General Fund Revenues

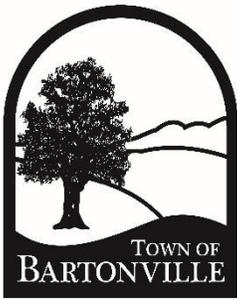
Category	Current Month Actual	YTD Actual	Annual Budget	% of Budget	Budget Remaining
Revenue Summary					
Other/Transfer	344.58	656.33	19,000.00	3.45%	18,343.67
Property Taxes	295,153.72	358,823.89	814,385.00	44.06%	455,561.11
Sales Tax	29,711.13	146,585.84	485,000.00	30.22%	338,414.16
Permits	4,335.00	14,847.90	117,150.00	12.67%	102,302.10
Franchise Fees	2,702.57	51,105.49	157,500.00	32.45%	106,394.51
Development Fees	0.00	900.00	4,900.00	18.37%	4,000.00
Municipal Court	1,992.80	11,144.31	60,000.00	18.57%	48,855.69
Revenue Totals	334,239.80	584,063.76	1,657,935.00	35.23%	1,073,871.24

General Fund Expenses

Category	Current Month Actual	YTD Actual	Annual Budget	% of Budget	Budget Remaining
Expense Summary					
Other	3,013.89	6,294.86	57,650.00	10.92%	51,355.14
Salary & Benefits	39,722.10	157,208.52	708,420.00	22.19%	551,211.48
Contracted Service	14,084.92	34,512.36	191,999.00	17.98%	157,486.64
Supplies	1,701.39	22,052.27	65,500.00	33.67%	43,447.73
Lantana Town Center Grant	3,720.57	44,869.95	200,000.00	22.43%	155,130.05
Maintenance	6,563.98	12,372.61	60,500.00	20.45%	48,127.39
Transfer	0.00	0.00	373,866.00	0.00%	373,866.00
Expense Totals	68,826.84	277,330.56	1,657,935.00	16.73%	1,380,604.44

Town Administrator Notes:

- The final vacant patrol officer position was recently filled. The new hire will start 1/20/2020. Due to this position being budgeted for the entire fiscal year, this will result in a budget savings of approximately \$16,000 in General Fund Salary & Benefits.
- Franchise Fees (electric/gas, telephone, solid waste, and water) are currently 7.45% (\$11,730) above budgeted revenues.



Town of Bartonville Cash and Fund Balance Report as of December 31, 2019

Name	Fund #	Cash Balance	Fund Balance*
General	100	\$372,130	\$526,249
Reserve	150	\$312,941	\$312,941
Wastewater	160	\$11,327	\$15,806
Street Maintenance	170	\$195,923	\$1,062,102
Economic Development Liability	180	\$186,801	\$186,801
Interest & Sinking	200	\$902,681	\$902,681
Court Security	210	\$3,398	\$3,398
Court Technology	220	\$2,681	\$2,681
Capital Improvement	300	\$56,041	\$56,041
Vehicle and Equipment Replacement	301	\$26,802	\$26,802
Community Development	800	\$459,997	\$498,913
Crime Prevention	900	\$89,974	\$98,896
TOTAL		\$2,620,696	\$3,693,311

*Fund Balance does not include fixed assets

Town of Bartonville
 Balance Sheet
 As of December 31, 2019

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Account Type	Account Number	Description	Balance	Total
100 - General Fund				
Assets				
	100-1000	Consolidated Cash Equity - General Fund	372,130.67	
	100-1003	Economic Development Tax Grants	0.00	
	100-1051	Petty Cash-Town Hall	200.00	
	100-1053	Petty Cash-NS Spirit Day	0.00	
	100-1054	Petty Cash-Municipal Court	0.00	
	100-1100	Accounts Receivable	140,704.19	
	100-1150	Tax Receivable	12,217.15	
	100-1155	Property Tax Receivable	0.00	
	100-1190	Employee Receivable	0.00	
	100-1400	Inventory	0.00	
	100-1610	Buildings	0.00	
	100-1620	Land	0.00	
	100-1621	Landscaping	0.00	
	100-1650	Computer-Office Equipment	0.00	
	100-1655	Office Furniture & Fixtures	0.00	
	100-1660	Police Equipment	0.00	
	100-1710	Public Works	0.00	
	100-1800	Accumulated Depreciation	0.00	
	100-1920	Prepaid Expense	997.23	
	100-1930	Receivable Overpayment Sev.	0.00	
	100-1990	Undeposited Funds	0.00	
	100-1999	Pass Thru Revenue	0.00	
	Total Assets		<u>526,249.24</u>	<u>526,249.24</u>

Town of Bartonville
 Balance Sheet
 As of December 31, 2019

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Account Type	Account Number	Description	Balance	Total
100 - General Fund				
Liabilities				
	100-2000	Accounts Payable	(18,770.42)	
	100-2001	Accounts Payable to be closed out from conversion	0.00	
	100-2003	Year End Auditor Payables	0.00	
	100-2004	Police Department Retirement	0.00	
	100-2005	Sales Tax	0.00	
	100-2006	TMRS Payable	26,550.56	
	100-2012	FICA Payable	495.15	
	100-2015	Unemployment - TWC Payable	7.36	
	100-2019	AFLAC - Employee Contribution Payable	0.00	
	100-2020	HSA Due to Employee	0.00	
	100-2026	Accrued Vacation/Comp	0.00	
	100-2028	Dependent Insurance Payable	(231.11)	
	100-2029	Deferred Comp Payable	0.00	
	100-2030	New York Life	(319.79)	
	100-2031	Federal Income Tax (FIT) Payable	1,368.22	
	100-2035	Wages Payable	0.00	
	100-2041	Court Fines/Fees Collection Fees	0.00	
	100-2049	Collections Agency Fee	271.50	
	100-2051	State Fee	9,816.67	
	100-2064	Child Safety Funds	5,565.60	
	100-2073	Tx Seatbelt State Payables	0.00	
	100-2074	Warrant Fees Payable	36.00	
	100-2075	Deferred Revenue	0.00	
	100-2202	Due To Crime Prevention	0.00	
	100-2203	Due To Fixed Assets	0.00	
	100-2204	Due To Reserve Fund	0.00	
	100-2205	Due To Wastewater	0.00	
	100-2206	Due To Street Maintenance	0.00	
	100-2207	Due To I&S Fund	0.00	
	100-2208	Due To Court Security Fund	0.00	
	100-2209	Due To Court Technology Fund	0.00	
	100-2210	Due To Capital Improvement	0.00	
	100-2211	Due To Vehicle & Equipment Replacement Fund	0.00	
	100-2212	Due To General Long Term Debt	0.00	
	100-2213	Due To Bartonville Community Development	0.00	

Town of Bartonville
 Balance Sheet
 As of December 31, 2019

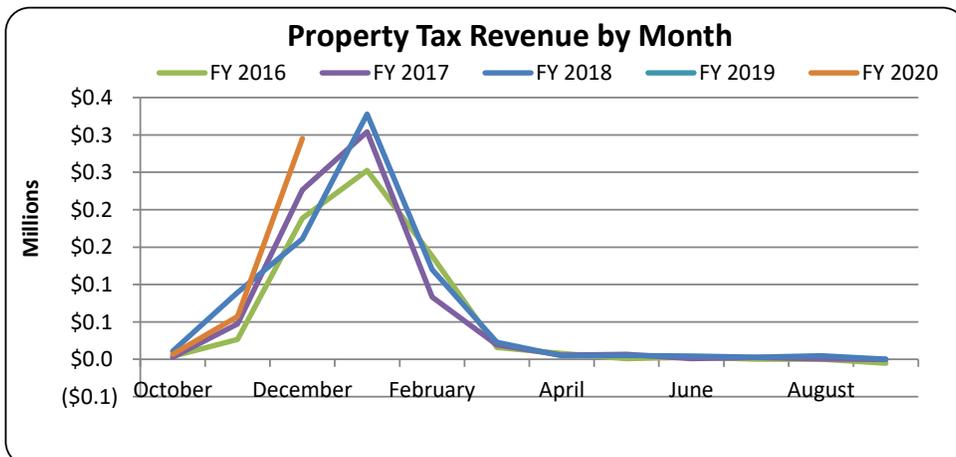
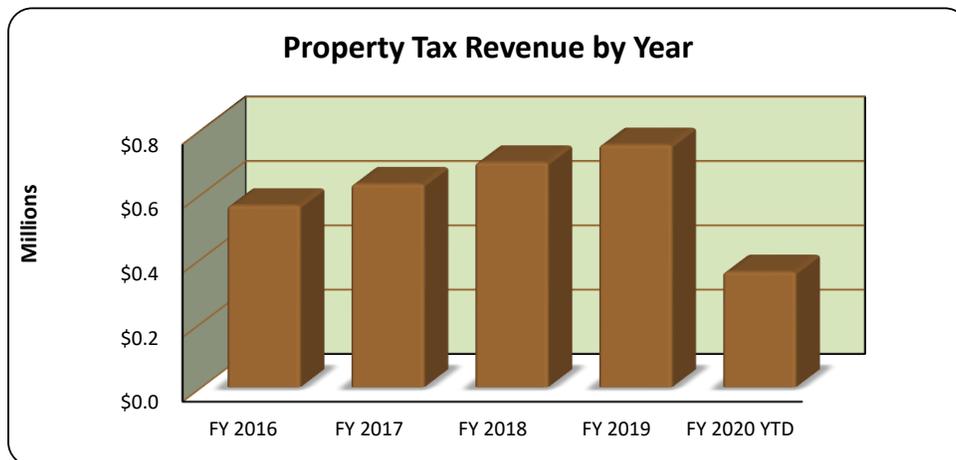
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Account Type	Account Number	Description	Balance	Total
100 - General Fund				
Liabilities				
	100-2540	Accrued Interest Payable	0.00	
	100-2550	Accrued Wages	0.00	
	100-2567	Bonds Escrow Liability	0.00	
	100-2568	Bond Refund Payable	0.00	
	100-2570	Building Permit Deposit Refund Payable	0.00	
	100-2571	Building Permit Deposit Liability	0.00	
	100-2795	PD - Restricted Donations LEOSE	0.00	
	100-2796	P D - Restricted Donations	0.00	
	100-2820	Unearned Revenues	12,104.37	
	100-2835	Payable to Eco Development Corp	7,364.75	
	100-2840	Payable to ED Tax Grants	0.00	
	100-2841	Lacey Oaks Substation Legal Fees	0.00	
	100-2845	TML PD/Veh Ins Claim Proceeds	0.00	
	100-2850	TML Property Ins Claim proceeds	0.00	
	100-2900	Bank Rec Pass Through	0.00	
	Total Liabilities		<u>44,258.86</u>	
Fund Balance				
	100-3000	Fund Balance	<u>175,392.18</u>	
	Total Fund Balance		<u>175,392.18</u>	
	Total Revenue		584,063.76	
	Total Expenses		<u>277,330.56</u>	
	Current Year Increase (Decrease)		306,598.20	
	Fund Balance Total		175,392.18	
	Current Year Increase (Decrease)		<u>306,598.20</u>	
	Total Fund Balance/Equity		<u>481,990.38</u>	
	Total Liabilities & Fund Balance			<u><u>526,249.24</u></u>



Property Tax Revenue General Fund FY 2019-2020

Month Received	FY 2016 Received	FY 2017 Received	FY 2018 Received	FY 2019 Received	FY 2020 YTD Received	Difference to FY 2019	Variance to FY 2019
October	\$958	\$4,107	\$2,960	\$10,819	\$6,588	(\$4,231)	-39.1%
November	34,117	26,562	47,245	89,284	57,135	(\$32,149)	-36.0%
December	212,125	188,437	226,312	161,044	295,153	\$134,109	83.3%
January	183,779	252,529	304,190	327,835			
February	102,179	137,806	83,148	120,142			
March	11,131	15,838	19,099	22,870			
April	4,689	7,908	5,580	4,578			
May	5,743	941	6,731	5,042			
June	1,099	2,945	1,069	4,288			
July	3,109	17	2,295	2,882			
August	2,471	20	439	4,831			
September	3,931	(5,310)	(189)	165			
Total	\$565,331	\$631,800	\$698,879	\$753,780	\$358,876	\$97,729	37.4%

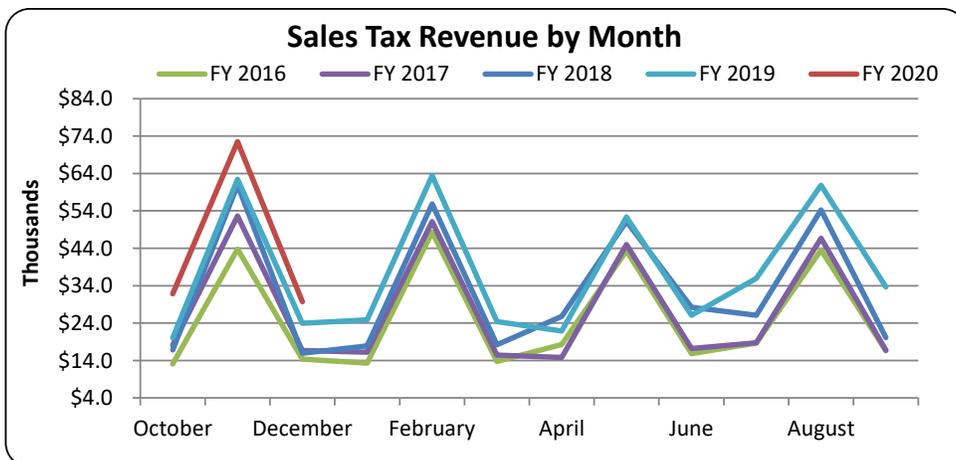
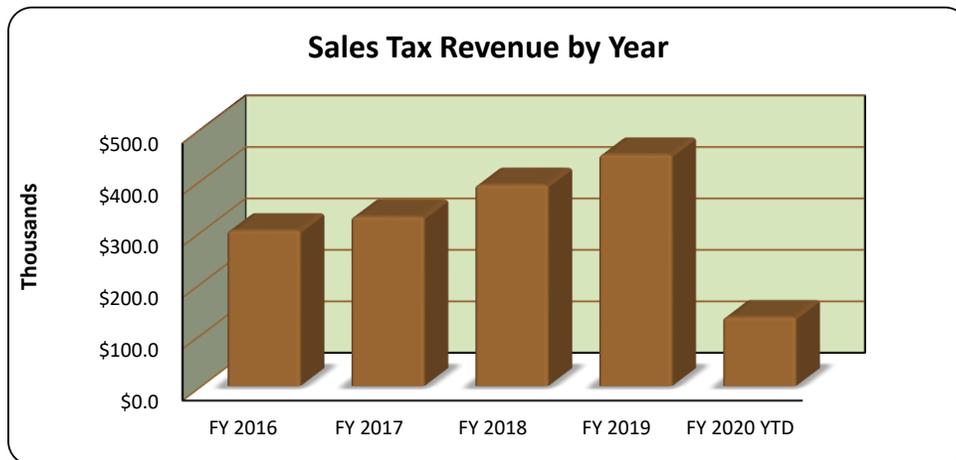




Sales Tax Revenue General Fund FY 2019-2020

Month Received	FY 2016 Received	FY 2017 Received	FY 2018 Received	FY 2019 Received	FY 2020 YTD Received	Difference to FY 2019	Variance to FY 2019
October	\$13,053	\$18,108	\$16,817	\$20,075	\$31,831	\$11,756	58.6%
November	43,778	52,644	60,915	62,429	72,525	\$10,096	16.2%
December	14,355	16,627	15,938	23,908	29,711	\$5,803	24.3%
January	13,318	16,167	17,865	24,850			
February	48,335	51,143	55,867	63,452			
March	13,726	15,446	18,190	24,378			
April	18,240	14,802	25,773	21,864			
May	43,285	44,996	51,169	52,345			
June	15,784	17,193	28,193	26,105			
July	18,667	18,711	26,048	35,966			
August	43,510	46,694	54,247	60,883			
September	16,585	16,715	20,126	33,639			
Total	\$302,636	\$329,246	\$391,148	\$449,895	\$134,067	\$27,655	26.0%

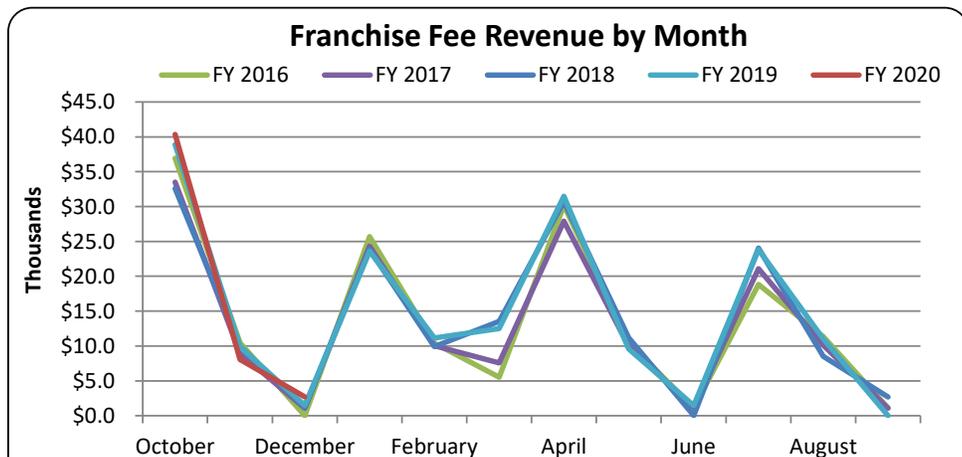
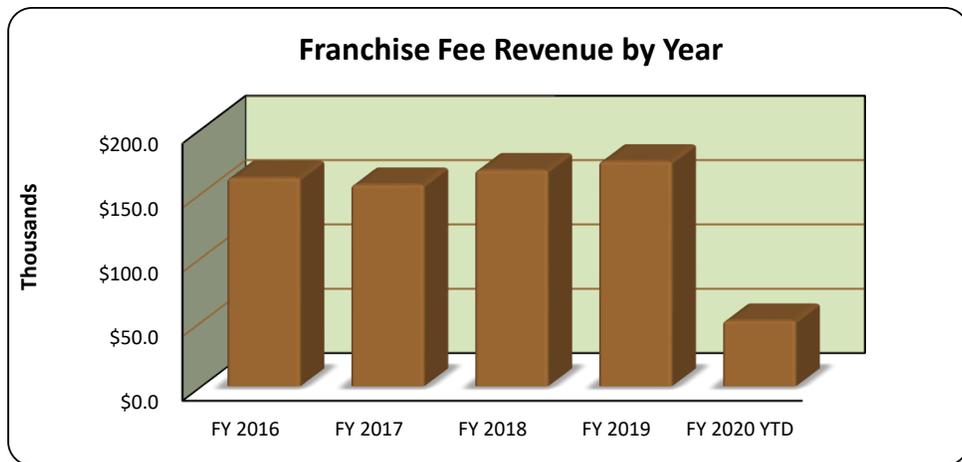
Special Note: The latest entry for the current fiscal year is listed in the month the tax was collected by the merchant. This amount is not received by the Town until two months later. By tracking information in this manner, the report and analysis will match the Town's Fiscal Year.



**Franchise Fee Revenue
General Fund
FY 2019-2020**

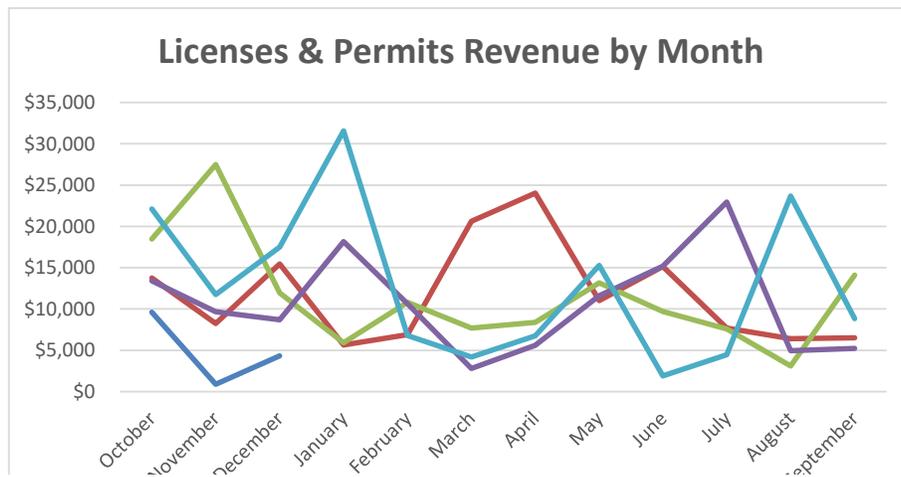
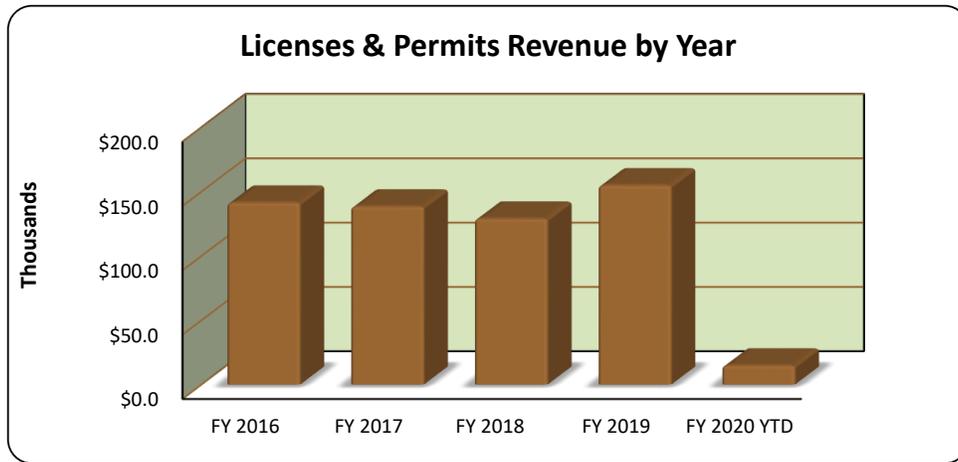
Month Received	FY 2016 Received	FY 2017 Received	FY 2018 Received	FY 2019 Received	FY 2020 YTD Received	Difference to FY 2019	Variance to FY 2019
October	\$36,925	\$33,503	\$32,582	\$38,889	\$40,346	\$1,457	3.7%
November	10,447	8,946	9,905	9,872	8,056	(\$1,816)	-18.4%
December	0	1,061	1,206	1,483	2,702	\$1,219	82.2%
January	25,685	24,339	23,827	23,598			
February	10,417	10,053	9,919	11,148			
March	5,534	7,568	13,529	12,496			
April	30,147	27,902	30,686	31,486			
May	10,480	9,948	11,177	9,602			
June	1,128	1,208	17	1,440			
July	18,814	21,080	24,025	23,830			
August	11,365	10,126	8,528	11,032			
September	1,136	1,088	2,682	0			
Total	\$162,078	\$156,822	\$168,083	\$174,876	\$51,104	\$860	1.7%

Special Note: Franchise Fees are typically received on a quarterly basis.



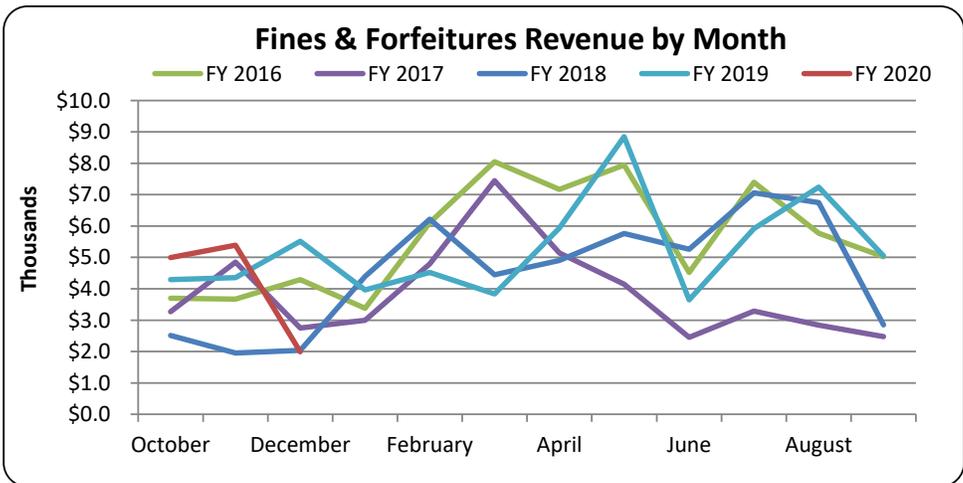
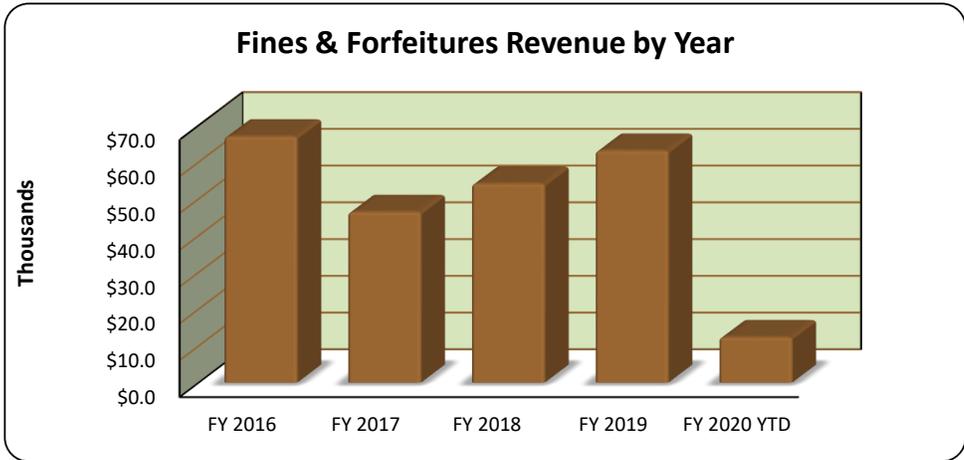
**Licenses & Permits Revenue
General Fund
FY 2019-2020**

Month Received	FY 2016 Received	FY 2017 Received	FY 2018 Received	FY 2019 Received	FY 2020 YTD Received	Difference to FY 2019	Variance to FY 2019
October	\$13,765	\$18,458	\$13,418	\$22,123	\$9,617	(\$12,506)	-56.5%
November	8,254	27,491	9,687	11,756	895	(\$10,861)	-92.4%
December	15,449	11,950	8,710	17,518	4,335	(\$13,183)	-75.3%
January	5,649	5,944	18,170	31,560			
February	6,889	10,821	10,655	6,810			
March	20,626	7,705	2,805	4,201			
April	24,034	8,404	5,631	6,745			
May	11,032	13,160	11,604	15,273			
June	15,141	9,715	15,196	1,910			
July	7,678	7,594	22,952	4,475			
August	6,401	3,110	4,960	23,666			
September	6,524	14,096	5,226	8,854			
Total	\$141,442	\$138,448	\$129,014	\$154,891	\$14,847	(\$36,550)	-71.1%



**Fines & Forfeitures Revenue
General Fund
FY 2019-2020**

Month Received	FY 2016 Received	FY 2017 Received	FY 2018 Received	FY 2019 Received	FY 2020 YTD Received	Difference to FY 2019	Variance to FY 2019
October	\$3,695	\$3,270	\$2,514	\$4,292	\$4,998	\$706	16.4%
November	3,674	4,851	1,952	4,359	5,388	\$1,029	23.6%
December	4,294	2,748	2,041	5,514	1,992	(\$3,522)	-63.9%
January	3,378	2,998	4,390	3,966			
February	6,109	4,796	6,218	4,518			
March	8,049	7,445	4,448	3,838			
April	7,167	5,137	4,905	5,932			
May	7,940	4,145	5,759	8,848			
June	4,517	2,452	5,263	3,647			
July	7,394	3,291	7,057	5,920			
August	5,768	2,840	6,749	7,244			
September	5,019	2,475	2,848	5,048			
Total	\$67,004	\$46,448	\$54,144	\$63,126	\$12,378	(\$1,787)	-12.6%



Town of Bartonville
 Financial Statement
 As of December 31, 2019

1/17/2020 09:01 AM

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Maintenance	6,563.98	12,372.61	60,500.00	20.45%	48,127.39
Transfer	0.00	0.00	373,866.00	0.00%	373,866.00
Capital	19.99	19.99	0.00	0.00%	(19.99)
Not Categorized	0.00	0.00	0.00	0.00%	0.00
Expense Totals	<u>68,826.84</u>	<u>277,330.56</u>	<u>1,657,935.00</u>	<u>16.73%</u>	<u>1,380,604.44</u>

Town of Bartonville
 Financial Statement
 As of December 31, 2019

1/17/2020 09:01 AM

100 - General Fund	Current Month Actual	YTD Actual	Annual Budget	% of Budget	Budget Remaining
Other/Transfer					
100-4001 Past Fiscal Years	0.00	0.00	0.00	0.00%	0.00
100-4065 Administration Services	10.98	(191.01)	2,900.00	(6.59%)	3,091.01
100-4090 General Revenue	0.00	0.00	0.00	0.00%	0.00
100-4100 Tax Note	0.00	0.00	0.00	0.00%	0.00
100-4116 Permits:Royalties/Other Income	0.00	0.00	0.00	0.00%	0.00
100-4130 Child Safety Collected	0.00	0.00	2,000.00	0.00%	2,000.00
100-4135 Open Records	0.00	3.60	0.00	0.00%	(3.60)
100-4160 LOESE Training Funds	0.00	0.00	0.00	0.00%	0.00
100-4220 Veterans Memorial Donation	0.00	0.00	0.00	0.00%	0.00
100-4248 EDC Interest Earned	0.00	0.00	0.00	0.00%	0.00
100-4250 Interest Earned	333.60	843.74	8,000.00	10.55%	7,156.26
100-4402 CoServ Grant	0.00	0.00	0.00	0.00%	0.00
100-4705 Sale of Surplus	0.00	0.00	0.00	0.00%	0.00
100-4710 Mowing/Demo Fees	0.00	0.00	0.00	0.00%	0.00
100-4720 TOB/CTWSC Agreement Payment	0.00	0.00	0.00	0.00%	0.00
100-4725 Transfer from BCCPD	0.00	0.00	1,000.00	0.00%	1,000.00
100-4730 Transfer from BCDC	0.00	0.00	5,000.00	0.00%	5,000.00
100-4850 NSF Fees	0.00	0.00	100.00	0.00%	100.00
100-4920 General Fund Transfer -Tax Note	0.00	0.00	0.00	0.00%	0.00
100-4925 FM ILA - Transfer to Street	0.00	0.00	0.00	0.00%	0.00
100-4930 Hat Creek Construction Costs	0.00	0.00	0.00	0.00%	0.00
100-4999 Transfer In	0.00	0.00	0.00	0.00%	0.00
Other/Transfer Totals	<u>344.58</u>	<u>656.33</u>	<u>19,000.00</u>	<u>3.45%</u>	<u>18,343.67</u>
Property Taxes					
100-4002 Ad Valorem Current O & M	295,024.47	358,544.35	809,385.00	44.30%	450,840.65
100-4003 Ad Valorem Pent & Int	49.33	65.35	2,500.00	2.61%	2,434.65
100-4010 Ad Valorem Deliquent	<u>79.92</u>	<u>214.19</u>	<u>2,500.00</u>	<u>8.57%</u>	<u>2,285.81</u>

Property Taxes Totals	295,153.72	358,823.89	814,385.00	44.06%	455,561.11
Sales Tax					
100-4025 Sales Tax Revenue	29,711.13	134,068.07	450,000.00	29.79%	315,931.93
100-4060 Mixed Beverage Allocation	0.00	12,517.77	35,000.00	35.77%	22,482.23
Sales Tax Totals	29,711.13	146,585.84	485,000.00	30.22%	338,414.16
Permits					
100-4039 Right of Way (ROW) Revenue	0.00	0.00	0.00	0.00%	0.00
100-4101 Permits:Accessory Bldg Permit	0.00	0.00	0.00	0.00%	0.00
100-4103 Permits:Business C of O Permits	0.00	0.00	1,000.00	0.00%	1,000.00
100-4104 Permits:Commercial Bldg Permits	0.00	0.00	10,000.00	0.00%	10,000.00
100-4105 Permits:Contractor Registration	125.00	250.00	4,000.00	6.25%	3,750.00
100-4106 Permits:Culvert/Driveway Permit	0.00	0.00	0.00	0.00%	0.00
100-4107 Permits:Gas Well Inspection Fees	0.00	2,900.00	29,200.00	9.93%	26,300.00
100-4108 Permits:Health/Food Permits	3,300.00	3,300.00	6,000.00	55.00%	2,700.00
100-4109 Permits:Mobile/Utility/Other	0.00	0.00	0.00	0.00%	0.00
100-4110 Permits:Oil/Gas Drilling Permit	0.00	0.00	0.00	0.00%	0.00
100-4111 Permits:Pool Permit Fees	0.00	0.00	0.00	0.00%	0.00
100-4112 Permits:Red Tag Fees	75.00	75.00	500.00	15.00%	425.00
100-4113 Permits:Remodel/Addition Permit	0.00	0.00	0.00	0.00%	0.00
100-4114 Permits:Residential Bldg Permits	760.00	8,047.90	60,000.00	13.41%	51,952.10
100-4115 Permits:ROW Permit/License	0.00	0.00	0.00	0.00%	0.00
100-4117 Permits:Septic Permit Fee	0.00	200.00	6,000.00	3.33%	5,800.00
100-4118 Permits:Sign or Tree Permits	75.00	75.00	300.00	25.00%	225.00
100-4119 Permits:Special Event/Race Permit	0.00	0.00	50.00	0.00%	50.00
100-4120 Permits:Truck Permit	0.00	0.00	100.00	0.00%	100.00
100-4121 Permits:Water Well/Sprinkler	0.00	0.00	0.00	0.00%	0.00
Permits Totals	4,335.00	14,847.90	117,150.00	12.67%	102,302.10
Franchise Fees					
100-4041 Electric/Gas Franchise Fees	0.00	36,296.35	110,000.00	33.00%	73,703.65
100-4042 Telephone Franchise Fees	5.16	8,084.66	20,000.00	40.42%	11,915.34
100-4045 Solidwaste Franchise Fees	2,697.41	5,672.71	15,000.00	37.82%	9,327.29
100-4046 Water Franchise Fees	0.00	1,051.77	12,500.00	8.41%	11,448.23
Franchise Fees Totals	2,702.57	51,105.49	157,500.00	32.45%	106,394.51
Development Fees					

100-4102 Permits:BOA Application Fees	0.00	900.00	900.00	100.00%	0.00
100-4122	0.00	0.00	4,000.00	0.00%	4,000.00
Development Fees Totals	<u>0.00</u>	<u>900.00</u>	<u>4,900.00</u>	<u>18.37%</u>	<u>4,000.00</u>
Municipal Court					
100-4150 Municipal Court Fines	1,543.00	9,363.70	60,000.00	15.61%	50,636.30
100-4157 Court Costs	449.80	1,780.61	0.00	0.00%	(1,780.61)
100-4158 Building Security Fees	0.00	0.00	0.00	0.00%	0.00
100-4161 Time Payment Reimbursement Fee	0.00	0.00	0.00	0.00%	0.00
Municipal Court Totals	<u>1,992.80</u>	<u>11,144.31</u>	<u>60,000.00</u>	<u>18.57%</u>	<u>48,855.69</u>
Revenue Totals	<u><u>334,239.80</u></u>	<u><u>584,063.76</u></u>	<u><u>1,657,935.00</u></u>	<u><u>35.23%</u></u>	<u><u>1,073,871.24</u></u>

Town of Bartonville
 Financial Statement
 As of December 31, 2019

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100 - General Fund	Administration	Current Month Actual	YTD Actual	Annual Budget	% Budget Used	Budget Remaining
Salary & Benefits		15,534.55	62,976.98	239,564.00	26.29%	176,587.02
Other		2,983.89	6,114.86	55,650.00	10.99%	49,535.14
Contracted Service		13,784.92	25,378.15	178,100.00	14.25%	152,721.85
Supplies		811.78	19,871.61	44,500.00	44.66%	24,628.39
Lantana Town Center Grant		0.00	0.00	0.00	0.00%	0.00
Capital		0.00	0.00	0.00	0.00%	0.00
Maintenance		2,880.93	5,752.50	37,500.00	15.34%	31,747.50
Transfer		0.00	0.00	0.00	0.00%	0.00
Administration Totals		<u>35,996.07</u>	<u>120,094.10</u>	<u>555,314.00</u>	<u>21.63%</u>	<u>435,219.90</u>

100 - General Fund	Police	Current Month Actual	YTD Actual	Annual Budget	% Budget Used	Budget Remaining
Maintenance		3,683.05	6,620.11	23,000.00	28.78%	16,379.89
Salary & Benefits		23,211.64	89,967.46	445,210.00	20.21%	355,242.54
Other		30.00	180.00	2,000.00	9.00%	1,820.00
Contracted Service		0.00	5,684.21	7,899.00	71.96%	2,214.79
Supplies		889.61	2,180.66	21,000.00	10.38%	18,819.34
Capital		19.99	19.99	0.00	0.00%	(19.99)
Police Totals		<u>27,834.29</u>	<u>104,652.43</u>	<u>499,109.00</u>	<u>20.97%</u>	<u>394,456.57</u>

100 - General Fund	Municipal Court	Current Month Actual	YTD Actual	Annual Budget	% Budget Used	Budget Remaining
Contracted Service		300.00	3,450.00	6,000.00	57.50%	2,550.00
Salary & Benefits		975.91	4,264.08	23,646.00	18.03%	19,381.92
Municipal Court Totals		<u>1,275.91</u>	<u>7,714.08</u>	<u>29,646.00</u>	<u>26.02%</u>	<u>21,931.92</u>

100 - General Fund	Transfers	Current Month Actual	YTD Actual	Annual Budget	% Budget Used	Budget Remaining
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Not Categorized	0.00	0.00	0.00	0.00%	0.00
Lantana Town Center Grant	3,720.57	44,869.95	200,000.00	22.43%	155,130.05
Transfer	0.00	0.00	373,866.00	0.00%	373,866.00
Other	0.00	0.00	0.00	0.00%	0.00
Transfers Totals	<u>3,720.57</u>	<u>44,869.95</u>	<u>573,866.00</u>	<u>7.82%</u>	<u>528,996.05</u>
Expense Totals	<u><u>68,826.84</u></u>	<u><u>277,330.56</u></u>	<u><u>1,657,935.00</u></u>	<u><u>16.73%</u></u>	<u><u>1,380,604.44</u></u>

Town of Bartonville
 Financial Statement
 As of December 31, 2019

1/17/2020 09:01 AM

100 - General Fund	Administration	Current Month Actual	YTD Actual	Annual Budget	% Budget Used	Budget Remaining
100-10-5002	Certification Wages	184.62	646.17	2,400.00	26.92%	1,753.83
100-10-5012	Administrator Salary	6,338.46	22,092.30	82,400.00	26.81%	60,307.70
100-10-5013	Town Secretary Salary	6,153.84	23,938.44	82,400.00	29.05%	58,461.56
100-10-5016	Admin Assistant Salary	712.50	2,096.25	11,700.00	17.92%	9,603.75
100-10-5018	Longevity Pay	0.00	780.00	780.00	100.00%	0.00
100-10-5019	Mileage Pay	0.00	0.00	2,000.00	0.00%	2,000.00
100-10-5020	Retirement - TMRS	1,950.98	7,303.62	26,184.00	27.89%	18,880.38
100-10-5023	FICA	194.15	722.47	3,000.00	24.08%	2,277.53
100-10-5025	Health and Dental	0.00	4,391.32	22,000.00	19.96%	17,608.68
100-10-5053	Advertisements and Notices	206.90	503.30	2,000.00	25.17%	1,496.70
100-10-5063	Animal Control	960.00	1,920.00	12,800.00	15.00%	10,880.00
100-10-5080	Appraisal District	1,254.39	1,254.39	6,000.00	20.91%	4,745.61
100-10-5082	Audit & Accounting Expense	0.00	0.00	3,750.00	0.00%	3,750.00
100-10-5102	Bank Service Charges	0.00	0.00	100.00	0.00%	100.00
100-10-5103	Banners and Signs	75.00	645.00	15,000.00	4.30%	14,355.00
100-10-5113	Building Inspections/Code Enfor	1,780.00	4,815.00	30,000.00	16.05%	25,185.00
100-10-5128	Cell Phone Charges	0.00	0.00	1,200.00	0.00%	1,200.00
100-10-5140	Clean Up Day	0.00	400.00	10,000.00	4.00%	9,600.00
100-10-5142	Codification	0.00	500.00	2,700.00	18.52%	2,200.00
100-10-5147	Computer Software	577.50	18,184.17	26,000.00	69.94%	7,815.83
100-10-5157	Copier Lease/Supplies/Maint	0.00	681.83	5,000.00	13.64%	4,318.17
100-10-5158	Copier/Printing Expense and Su	0.00	0.00	2,500.00	0.00%	2,500.00
100-10-5161	County Filing Fees	0.00	0.00	0.00	0.00%	0.00
100-10-5162	County Tax Collection	1,881.00	1,881.00	3,000.00	62.70%	1,119.00
100-10-5207	Dues & Certs	789.00	1,074.00	2,400.00	44.75%	1,326.00
100-10-5220	Veterans Memorial	0.00	0.00	0.00	0.00%	0.00
100-10-5225	ED Sales Tax Grants	0.00	0.00	0.00	0.00%	0.00
100-10-5226	Election Expense	0.00	0.00	12,500.00	0.00%	12,500.00
100-10-5230	Engineering/Surveying Services	622.28	4,122.39	20,000.00	20.61%	15,877.61
100-10-5275	Gas Well Inspections	0.00	0.00	24,750.00	0.00%	24,750.00

100-10-5337 Insurance - Property & Liability	0.00	1,006.41	5,500.00	18.30%	4,493.59
100-10-5381 Legal	7,087.25	9,715.70	50,000.00	19.43%	40,284.30
100-10-5404 Maintenance/Repair/Cleaning	1,639.75	3,265.75	20,000.00	16.33%	16,734.25
100-10-5405 Tree Trimming	0.00	0.00	3,000.00	0.00%	3,000.00
100-10-5406 Public Transportation	0.00	0.00	1,800.00	0.00%	1,800.00
100-10-5477 Office Supplies/Sm Ofc Equip	0.00	366.57	4,000.00	9.16%	3,633.43
100-10-5479 Operations and Supplies	234.28	639.04	4,000.00	15.98%	3,360.96
100-10-5482 Other	0.00	0.00	0.00	0.00%	0.00
100-10-5513 Planning Services	0.00	277.50	10,000.00	2.78%	9,722.50
100-10-5514 Postage	0.00	161.34	3,000.00	5.38%	2,838.66
100-10-5530 Professional Services	0.00	0.00	0.00	0.00%	0.00
100-10-5537 Publications/Subscriptions	77.00	150.75	1,000.00	15.08%	849.25
100-10-5600 Reconciliation Discrepancies	0.00	0.00	0.00	0.00%	0.00
100-10-5601 Records Management	0.00	892.17	6,000.00	14.87%	5,107.83
100-10-5630 Sanitarian & Health Inspections	200.00	500.00	10,000.00	5.00%	9,500.00
100-10-5703 TCEQ Fees	0.00	30.00	150.00	20.00%	120.00
100-10-5710 Town Meetings/Events	55.49	55.49	1,800.00	3.08%	1,744.51
100-10-5712 Transfer CIP - Town Hall Impr	0.00	0.00	0.00	0.00%	0.00
100-10-5713 Transfer to Street Fund	0.00	0.00	0.00	0.00%	0.00
100-10-5714 Transfer to Reserve Fund	0.00	0.00	0.00	0.00%	0.00
100-10-5715 Transfer to Capital Imp Fund	0.00	0.00	0.00	0.00%	0.00
100-10-5716 Transfer to Public Safety Fund	0.00	0.00	0.00	0.00%	0.00
100-10-5717 Travel & Training	1,780.50	2,594.98	5,000.00	51.90%	2,405.02
100-10-5727 Utilities	1,241.18	2,486.75	17,500.00	14.21%	15,013.25
100-10-5780 Tax Note	0.00	0.00	0.00	0.00%	0.00
100-10-6008 Equipment	0.00	0.00	0.00	0.00%	0.00
Administration Totals	<u>35,996.07</u>	<u>120,094.10</u>	<u>555,314.00</u>	<u>21.63%</u>	<u>435,219.90</u>

100 - General Fund	Police	Current Month Actual	YTD Actual	Annual Budget	% Budget Used	Budget Remaining
100-20-5002 Certification Wages		373.06	1,242.25	8,500.00	14.61%	7,257.75
100-20-5003 Police Officer Wages		8,049.60	26,081.46	154,363.00	16.90%	128,281.54
100-20-5004 Sergeant		4,555.20	15,563.63	59,225.00	26.28%	43,661.37
100-20-5007 Overtime Wages		669.77	2,610.87	15,000.00	17.41%	12,389.13
100-20-5008 Vacation Buy Back		0.00	0.00	0.00	0.00%	0.00
100-20-5014 Police Chief Salary		5,942.30	20,711.51	77,250.00	26.81%	56,538.49

100-20-5018 Longevity Pay	0.00	1,266.00	1,278.00	99.06%	12.00
100-20-5020 Retirement - TMRS	3,014.89	10,384.52	47,894.00	21.68%	37,509.48
100-20-5023 FICA	284.06	978.42	5,000.00	19.57%	4,021.58
100-20-5025 Health and Dental	0.00	6,590.66	55,000.00	11.98%	48,409.34
100-20-5029 Workers Compensation	0.00	2,315.03	10,000.00	23.15%	7,684.97
100-20-5030 Unemployment Benefits	4.04	7.36	0.00	0.00%	(7.36)
100-20-5084 Auto Maint/Repair/CarWash	633.23	1,227.29	8,000.00	15.34%	6,772.71
100-20-5128 Cell Phone Charges	318.72	637.44	4,200.00	15.18%	3,562.56
100-20-5134 Child Safety	0.00	0.00	0.00	0.00%	0.00
100-20-5145 Computer Maintenance	3,049.82	5,392.82	15,000.00	35.95%	9,607.18
100-20-5172 Criminal Invest & Background	0.00	285.21	2,000.00	14.26%	1,714.79
100-20-5204 DCSO Communications Contract	0.00	5,399.00	5,399.00	100.00%	0.00
100-20-5205 DCSO Support Contract	0.00	0.00	500.00	0.00%	500.00
100-20-5208 Dues & Memberships	0.00	0.00	1,000.00	0.00%	1,000.00
100-20-5264 Fuel & Lubricants	426.05	953.71	11,000.00	8.67%	10,046.29
100-20-5334 Insurance - Auto	0.00	417.00	3,000.00	13.90%	2,583.00
100-20-5336 Insurance - Police Liability	0.00	747.81	2,500.00	29.91%	1,752.19
100-20-5337 Insurance - Property & Liability	0.00	413.50	2,000.00	20.68%	1,586.50
100-20-5420 Motorola Solutions	0.00	0.00	0.00	0.00%	0.00
100-20-5479 Operations and Supplies	463.56	630.34	4,000.00	15.76%	3,369.66
100-20-5647 Small Equipment Purchase/Repa	0.00	40.08	2,500.00	1.60%	2,459.92
100-20-5717 Travel & Training	30.00	180.00	1,000.00	18.00%	820.00
100-20-5726 Uniform & Apparel Expense	0.00	556.53	3,500.00	15.90%	2,943.47
100-20-5785 Vehicle Replacement Fund Trans	0.00	0.00	0.00	0.00%	0.00
100-20-6008 Equipment	19.99	19.99	0.00	0.00%	(19.99)
Police Totals	<u>27,834.29</u>	<u>104,652.43</u>	<u>499,109.00</u>	<u>20.97%</u>	<u>394,456.57</u>

100 - General Fund	Municipal Court	Current Month Actual	YTD Actual	Annual Budget	% Budget Used	Budget Remaining
100-30-5015 Court Clerk Salary		835.25	3,649.50	19,500.00	18.72%	15,850.50
100-30-5020 Retirement - TMRS		128.55	561.66	3,054.00	18.39%	2,492.34
100-30-5023 FICA		12.11	52.92	1,092.00	4.85%	1,039.08
100-30-5030 Unemployment Benefits		0.00	0.00	0.00	0.00%	0.00
100-30-5421 Municipal Court Expenses		300.00	3,450.00	6,000.00	57.50%	2,550.00
Municipal Court Totals		<u>1,275.91</u>	<u>7,714.08</u>	<u>29,646.00</u>	<u>26.02%</u>	<u>21,931.92</u>

100 - General Fund	Transfers	Current Month Actual	YTD Actual	Annual Budget	% Budget Used	Budget Remaining
100-90-5713	Transfer to Street Fund	0.00	0.00	0.00	0.00%	0.00
100-90-5714	Transfer to Reserve Fund	0.00	0.00	0.00	0.00%	0.00
100-90-5720	Transfer to Economic Developm	3,720.57	44,869.95	200,000.00	22.43%	155,130.05
100-90-5721	Transfer to Vehicle/Equip Replac	0.00	0.00	16,400.00	0.00%	16,400.00
100-90-5722	Transfer to I&S Fund	0.00	0.00	357,466.00	0.00%	357,466.00
100-90-5780	Tax Note	0.00	0.00	0.00	0.00%	0.00

100-90-5999 Transfers Out	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00%</u>	<u>0.00</u>
Transfers Totals	<u>3,720.57</u>	<u>44,869.95</u>	<u>573,866.00</u>	<u>7.82%</u>	<u>528,996.05</u>
Expense Totals	<u><u>68,826.84</u></u>	<u><u>277,330.56</u></u>	<u><u>1,657,935.00</u></u>	<u><u>16.73%</u></u>	<u><u>1,380,604.44</u></u>

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TOWN OF BARTONVILLE, TEXAS
 CURRENT INVESTMENT PORTFOLIO AS OF
 DECEMBER 31, 2019

ALL FUND TYPES (EXCPT BCDC & CCD) AS DEFINED IN TOWN'S INVESTMENT POLICY

CUSIP	Type of Security	PAR	Current Rate	Purchase Settlement Date	Maturity Date	Term	Days Held 9/30/2019	Days to Maturity 9/30/2019	% TOTAL	Weighted Average Maturity
<u>Cash Positions: Bank Cash Investments</u>										
Independent Bank (Consolidated Cash)	DDA	\$ 1,778,872	1.41%	12/31/2019	1/1/2020	1	0	1	61.15%	1
Independent Bank (Reserve Fund)	DDA	\$ 312,941	1.41%	12/31/2019	1/1/2020	1	0	1	10.76%	1
Subtotal Cash Positions		<u>\$ 2,091,813</u>								
<u>Cash Positions: Pooled Investments</u>										
LOGIC	Pool	\$ 817,181	1.82%	12/31/2019	1/1/2020	1	0	1	28.09%	43
Grand Total		\$ 2,908,994							100.00%	

TOWN OF BARTONVILLE, TEXAS
 CURRENT INVESTMENT PORTFOLIO AS OF
 DECEMBER 31, 2019

ALL FUND TYPES (EXCPET BCDC & CCD) AS DEFINED IN TOWN'S INVESTMENT POLICY

CUSIP	Type of Security	PAR	Current Rate	Purchase Settlement Date	Maturity Date	Book Value			Market Value			
						Beginning 10/1/2019	Ending 12/31/2019	Change	Beginning 10/1/2019	Ending 12/31/2019	Change	
<u>Cash Positions: Bank Cash Investments</u>												
Independent Bank (Consolidated Cash)	DDA	\$ 1,778,872	1.41%	12/31/2019	1/1/2020	\$ 1,437,199	\$ 1,778,872	\$ 341,673	\$ 1,437,199	\$ 1,778,872	\$ 341,673	
Independent Bank (Reserve Fund)	DDA	\$ 312,941	1.41%	12/31/2019	1/1/2020	\$ 311,840	\$ 312,941	\$ 1,101	\$ 311,840	\$ 312,941	\$ 1,101	
Subtotal Cash Positions		\$ 2,091,813				\$ 1,749,039	\$ 2,091,813	\$ 342,774	\$ 1,749,039	\$ 2,091,813	\$ 342,774	
<u>Cash Positions: Pooled Investments</u>												
LOGIC	Pool	\$ 817,181	1.82%	12/31/2019	1/1/2020	\$ 813,266	\$ 817,181	\$ 3,915	\$ 813,266	\$ 817,181	\$ 3,915	
Grand Total		\$ 2,091,813				\$ 2,562,305	\$ 2,908,994	\$ 346,689	\$ 2,562,305	\$ 2,908,994	\$ 346,689	

INTEREST EARNED FOR QUARTER

Month	Type of Security	Average Balance	Average Rate	Interest Earned
<u>Cash Positions: Bank Cash Investments</u>				
Oct-19	DDA	\$ 1,742,295	1.41%	\$ 2,070
Nov-19	DDA	\$ 1,809,110	1.41%	\$ 2,080
Dec-19	DDA	\$ 1,928,680	1.41%	\$ 2,288
	Subtotal			\$ 6,438
<u>Cash Positions: Pooled Investments</u>				
Oct-19	Pool	\$ 813,266	2.06%	\$ 1,421
Nov-19	Pool	\$ 814,688	1.84%	\$ 1,234
Dec-19	Pool	\$ 815,922	1.82%	\$ 1,259
	Subtotal			\$ 3,914

TOTAL INTEREST EARNED FOR THIS QUARTER \$ 10,352

Address	Notes	Code
Dec 27, 2019 10:43 AM 1000 timberidge	we removed a skunk from a trap	Animal Control
Dec 24, 2019 10:53 AM	Patrolled city focusing on stray animals.	Animal Control
Dec 23, 2019 11:20 AM 925 show master ct	we responded to a barking dog complaint, we did not find any nuisance barking	Animal Control
Dec 17, 2019 10:53 AM	Patrolled city focusing on stray animals.	Animal Control
Dec 13, 2019 11:20 AM 925 show master ct	we responded to a barking dog complaint, i spoke to the owner and was shown the dog wearing a bark collar. no nuisance barking found at this time.	Animal Control
Dec 12, 2019 10:53 AM	Patrolled city focusing on stray animals.	Animal Control
Dec 5, 2019 10:53 AM	Patrolled city focusing on stray animals.	Animal Control



TOWN COUNCIL AGENDA ITEM NO. 1

CONSENT ITEM

DATE: January 21, 2020
FROM: Tammy Dixon, Town Secretary
ITEM: Consider approval of the December 17, 2019, regular meeting minutes.

SUMMARY:

The Town Council held a regular meeting on December 17, 2019.

FISCAL IMPACT:

N/A

LEGAL REVIEW:

N/A

ATTACHMENTS:

- Draft Minutes

RECOMMENDATION: Move to approve the minutes from a regular meeting of the Town Council held on December 17, 2019.

THE BARTONVILLE TOWN COUNCIL HELD A REGULAR MEETING ON THE 17TH DAY OF DECEMBER 2019, AT BARTONVILLE TOWN HALL, 1941 E. JETER RD, IN THE TOWN OF BARTONVILLE, COUNTY OF DENTON, TEXAS AT 6:30 P.M.

The Town Council met in regular meeting with the following members present:

Bill Scherer, Mayor
Jaclyn Carrington, Mayor Pro Tem, Place 2
Jeff Traylor, Councilmember Place 1
Clay Sams, Councilmember Place 3
Bridget Melson, Councilmember Place 4
Josh Phillips, Councilmember Place 5

Staff Present: Michael Montgomery, Town Administrator; Tammy Dixon, Town Secretary; Bobby Dowell, Chief of Police; and Ed Voss, Town Attorney.

A. CALL REGULAR MEETING ORDER

Mayor Scherer called the meeting to order at 6:30 p.m.

B./C. CLOSED/OPEN SESSION

The Town Council convened into a closed meeting at 6:30 p.m. pursuant to Texas Government Code Chapter 551, Section 551.071 and reconvened into open session at 7:00 p.m. to discuss matters relating to consultation with Town Attorney as follows:

1. Consultation with Town Attorney regarding legal issues concerning 2019 Residential Street Projects. **No Action Taken.**

D. PLEDGE OF ALLEGIANCE

Mayor Scherer led the pledge of allegiance.

E. PUBLIC PARTICIPATION/CITIZEN APPEARANCES

The following spoke in opposition of agenda Item 4 – Site Plan amendment for the equestrian center located at 1200 Rockgate.

William Burford, 1221 Rockgate Road
Vicki Burford, 1221 Rockgate Road

F. ANNOUNCEMENTS

Announce recent and upcoming civic and social events.

Mayor Scherer thanked the community for generosity and support of the Blue Santa Program. Mayor Scherer also thanked the Bartonville Store for hosting an event that resulted in a truckload of toys and a donation of \$1,800. Mr. Scherer also thanked the teachers and students

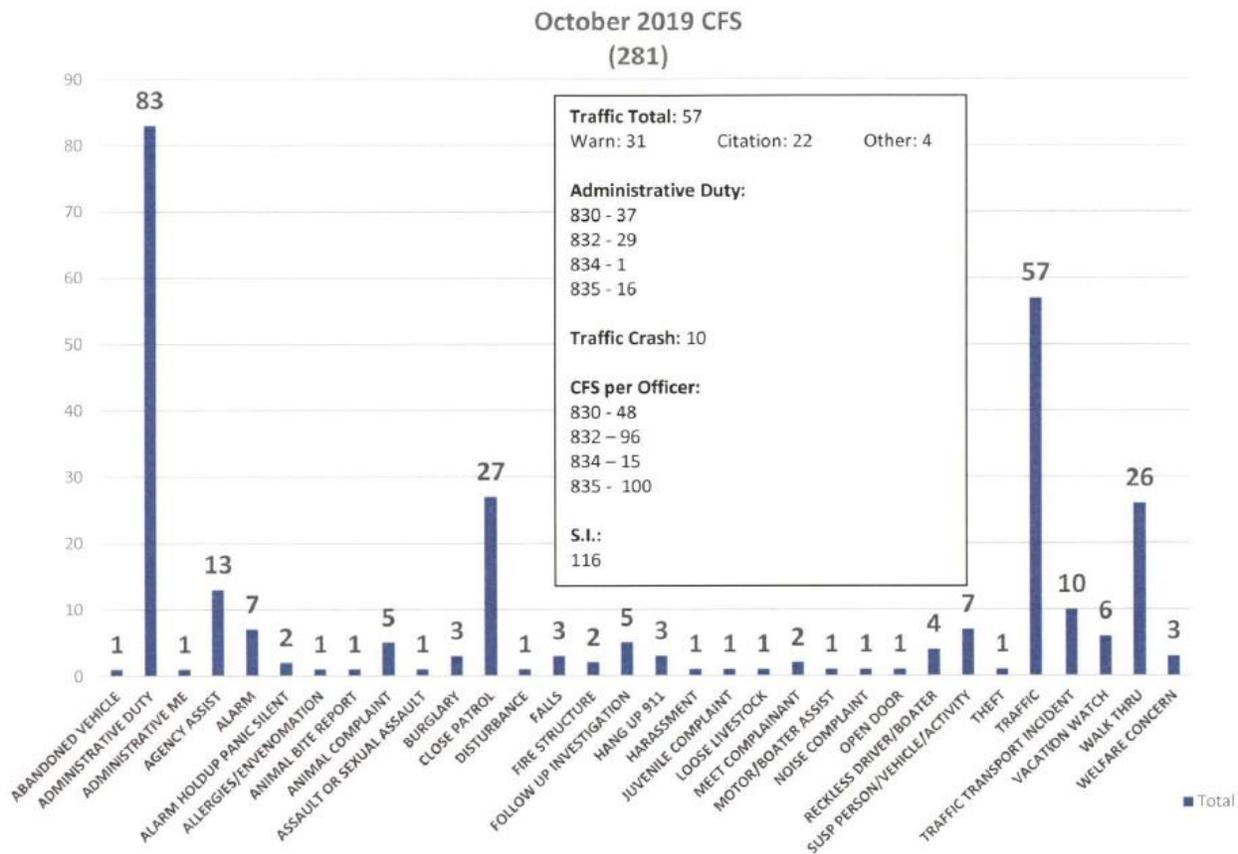
of Argyle High School Student Leadership who pitched in by wrapping all the presents and donations that were received.

G. APPOINTED REPRESENTATIVE/LIAISON REPORTS

1. Denton County Emergency Services District #1 – Mr. Strange provided a summary of the December 12, 2019, Board meeting and the calls for service in Bartonville.

2. Police Chief Report - Department Statistics/Activities for November 2019.

Chief Dowell reviewed the October calls for service as follows:



Chief Dowell stated the Blue Santa program received over \$3,000 in monetary and gift card donations and more than 100 unwrapped gifts. He added 25 children were registered for the program and due to the generosity of the community and the Bartonville Store they were able to help an additional family. Chief Dowell thanked the community, the Bartonville Store, and the Argyle High School leadership students.

3. Town Administrator
 Monthly Reports: Financial Statement- October 2019; Animal Control Report; Boards and Commissions Reception.

Mr. Montgomery stated CoServ would be replacing the power poles and overhead conductors beginning the second week of January.

Mr. Montgomery requested from the Town Council dates for the Boards and Commissions reception. Mayor Scherer requested staff email possible dates to the Town Council.

H. CONSENT AGENDA

Mayor Pro Tem Carrington moved to approve consent item 1. Councilmember Melson seconded the motion. The item, as approved by consent, is restated below along with the approved recommendation, for the record.

1. Consider approval of the November 19, 2019, regular meeting minutes.

RECOMMENDATION: Approve the November 19, 2019, regular meeting minutes.

VOTE ON THE MOTION

AYES: Phillips, Sams, Melson, Carrington, Traylor
NAYS: None
VOTE: 5/0

I. REGULAR ITEMS

2. Discuss and consider approval of Change Order No. 3 to the 2019 Residential Streets Contract with Rock Solid, Inc., increasing the contract amount by \$9,052; and authorize the Town Administrator to execute same of behalf of the Town.

Mr. Montgomery stated the change order resulted in an increase in the contract in the amount of \$9,052 and included the following changes:

- Additional spot repairs on Rockgate Road
 - Contractor has agreed to cover for 50% of the necessary repairs
- Tapper edge on Roadrunner
- Shoulder work on Gibbons to address drop off
- Additional sod on Stonewood Court
- Drainage improvements on Maple/Mulberry culvert
- Flexbase in Timberidge tree island

Councilmember Traylor moved to approve Change Order No. 3 to the 2019 Residential Streets Contract with Rock Solid, Inc., increasing the contract amount by \$9,052; and authorize the Town Administrator to execute same of behalf of the Town. Councilmember Sams seconded the motion.

VOTE ON THE MOTION

AYES: Carrington, Traylor, Sams, Melson, Phillips

NAYS: None

VOTE: 5/0

- 3. Public hearing to consider a waiver from the Town of Bartonville Code of Ordinances, Chapter 10, Subdivision Regulations, Exhibit A, Development Ordinance, Chapter III, Subdivision Design Standards, Section 3.5, Lots, Subsection b, to allow for the creation of a flag lot on a tract of land being described as Lot 2, Block 1 of the CC Carter Addition, Town of Bartonville, Denton County, Texas. The property to be considered for the waiver is a 2.348-acre tract of land located at 1361 Bridle Bit Road in Bartonville, Texas. *(The Planning and Zoning Commission recommended approval by a vote of 5 to 0 at their December 4, 2019, meeting.)*

Mr. Montgomery stated the Town received a waiver request from the Town’s Subdivision Ordinance from the owners of 1361 Bridle Bit Road. The owners were seeking to create a 2.348-acre flag lot. He stated the proposed lot had the required street frontage but the access to the buildable area was less than the required street frontage. He stated the Planning and Zoning Commission recommended approval by a vote of 5 to 0.

The applicant, Carol Carter, presented her application and answered questions from the Town Council.

Mayor Scherer opened the public hearing at 7:25 p.m.

No one spoke in favor or opposition.

Mayor Scherer closed the public hearing at 7:25 p.m.

Councilmember Traylor moved to approve a waiver from the Town of Bartonville Code of Ordinances, Chapter 10, Subdivision Regulations, Exhibit A, Development Ordinance, Chapter III, Subdivision Design Standards, Section 3.5, Lots, Subsection b, to allow for the creation of a flag lot on a tract of land being described as Lot 2, Block 1 of the CC Carter Addition, Town of Bartonville, Denton County, Texas. Mayor Pro Tem Carrington seconded the motion.

VOTE ON THE MOTION

AYES: Phillips, Melson, Sams, Carrington, Traylor

NAYS: None

VOTE: 5/0

Mayor Scherer left the dais at 7:27 p.m. due to a Conflict of Interest with Item 4. An affidavit is on file with the Town Secretary.

- 4. Discuss and consider approval of a Site Plan amendment for a secondary access driveway, additional parking, additional equestrian turnouts, relocation of well house, and enlargement of outdoor arena for an equestrian center located on a 79.907-acre lot located

at 1200 Rockgate Road, Bartonville, Texas. (*The Planning and Zoning Commission recommended partial approval by a vote of 5 to 0 at their December 4, 2019, meeting.*)

Mr. Montgomery stated the owners of 1200 Rockgate have proposed the following amendments to their approved Site Plan for an equestrian center:

1. To provide a 20' wide access drive to Broome Rd. The drive will provide secondary fire and service access for the equestrian center.
2. To provide additional trailer parking adjacent to the north access drive.
3. To provide for six additional one-acre turnouts on the east side of the property. The previous plat with two acre lots along Rockgate Rd. was amended to be contiguous with the balance of the property.
4. To enlarge the outdoor arena from 100' x 150' to 150' x 200'. the arena will be in the same location.
5. To relocate the well house to the north east as shown on the attached package in order to avoid conflicts with the existing pond.

Mr. Montgomery stated in order to accommodate the six additional turnouts on the east side of the property, the owner submitted a minor replat to absorb lots 2-R, 3-4, 4-R-1R, and 4-R-2R into the existing 71.907 acres of Lot 4-R-3R.

Mr. Montgomery stated a conditional use permit for an equestrian center was approved on September 26, 2018 and the Site Plan was approved on March 19, 2019.

He stated the Planning and Zoning Commission recommended approval for items 4 and 5 and denial of items 1-3, by a vote of 5 to 0 at their December 4, 2019, meeting.

The applicant, Jim Fay, presented his application and answered questions from the Town Council.

Mayor Pro Tem Carrington invited those who completed a public speaker comment form to speak.

The following spoke in opposition:

Bill Scherer, 1173 Rockgate Road
Becka Clark, 1040 Rockgate Road
Larry Hays, 973 Ridgewood Circle
Shirley McGlothlin, 1333 Rockgate Road
Keila Gutierrez, 1089 Rockgate Road
Betty Medlock, 1029 Rockgate Road
Terry Skodack, 1267 Rockgate Road
Nancy Skodack, 1267 Rockgate (spoke in opposition of 1-3, and in favor of 4-5.)
Rick Lawrence 1135 Rockgate Road
Bailey Scherer, 1173 Rockgate Road

Mr. Fay answered questions from the Town Council.

Mayor Pro Tem Carrington moved to go into closed session for consultation with the Town Attorney regarding this item. Councilmember Traylor seconded the motion.

The Town Council convened into a closed meeting at 8:22 p.m. pursuant to Texas Government Code Chapter 551, Section 551.071 and reconvened into open session at 8:59 p.m.

Councilmember Traylor stated with respect to item 1, if a Knox Box was installed and the driveway was used solely for emergency purposes, he would be in favor of it.

Councilmembers Sams, Phillips, Melson and Mayor Pro Tem Carrington concurred.

Councilmember Traylor moved to approve items 1, 4, 5 and 6 to the Site Plan amendment as follows:

1. To provide a 20' wide access drive to Broome Rd. The drive will provide secondary fire and service access for the equestrian center. Approved for fire and emergency access only with the following condition: A Knox Box must be installed on the gate on the new north access drive near the connection to Broome Road.
4. To enlarge the outdoor arena from 100' x 150' to 150' x 200'. The arena will be in the same location.
5. To relocate the well house to the north east as shown on the attached package in order to avoid conflicts with the existing pond.
6. Added Item: The distance between the trees along the 2-acre tracts on the east side of the property must be placed 40 feet apart instead of the previously approved distance of 50 feet apart.

and moved to deny items 2 and 3.

2. To provide additional trailer parking adjacent to the north access drive.
3. To provide for six additional one-acre turnouts on the east side of the property. The previous plat with two acre lots along Rockgate Rd. has been amended to be contiguous with the balance of the property.

Councilmember Sams seconded the motion.

VOTE ON THE MOTION

AYES: Carrington, Traylor, Sams, Melson, Phillips

NAYS: None

VOTE: 5/0

J. FUTURE AGENDA ITEMS/REQUESTS BY COUNCILMEMBERS TO BE ON NEXT AGENDA

There were none.

K. ADJOURNMENT

Mayor Pro Tem Carrington declared the meeting adjourned at 9:06 p.m.

APPROVED this the 15th day of January 2020.

Approved:

Bill Scherer, Mayor

Attest:

Tammy Dixon, Town Secretary



TOWN COUNCIL AGENDA ITEM NO. 2

CONSENT ITEM

DATE: January 21, 2020

FROM: Tammy Dixon, Town Secretary

ITEM: Consider approval of a resolution of the Town Council of the Town of Bartonville ordering a General Election to be held on May 2, 2020, for the purpose of electing a Mayor and two Councilmembers Places 2 and 4, for two-year terms each; and providing for a joint services contract with Denton County.

SUMMARY:

The purpose of this item is to order the Town's general election for May 2, 2020. State law requires the general election to be held on the first Saturday in May. A Mayor and two councilmembers, Places 2, and 4 shall be elected.

In accordance with Section 271.002 of the Texas Election Code, the Town's election will be conducted jointly with other political subdivisions of Denton County. The proposed resolution calls for the May 2, 2020, election, and for provides for a joint services agreement with Denton County. The county will determine the early voting locations and election day polling places once it has identified all of the entities participating in the election.

FISCAL IMPACT:

\$10,000 - \$15,000

The Town will be entering a joint election services agreement with Denton County and the costs of the election will be shared with other entities conducting an election.

ATTACHMENTS:

- Draft Resolution

RECOMMENDATION: Move to approve a resolution of the Town Council of the Town of Bartonville ordering a General Election to be held on May 2, 2020, for the purpose of electing a Mayor and two Councilmembers Places 2 and 4, for two-year terms each; and providing for a joint services contract with Denton County.

**TOWN OF BARTONVILLE, TEXAS
RESOLUTION 2020-01**

A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF BARTONVILLE, TEXAS, ORDERING A GENERAL ELECTION TO BE HELD ON MAY 2, 2020, FOR THE PURPOSE OF ELECTING A MAYOR AND TWO COUNCILMEMBERS PLACES 2 AND 4, FOR TWO-YEAR TERMS EACH; PROVIDING FOR A JOINT SERVICES CONTRACT WITH DENTON COUNTY TO CONDUCT THE ELECTION; PROVIDING FOR THE POSTING AND PUBLICATION OF NOTICE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Town of Bartonville, Texas is a Type “A” General Law Municipality located in Denton County, Texas, created in accordance with the provisions of the Texas Local Government Code and operating pursuant to the enabling legislation of the State of Texas; and

WHEREAS, Title 2A, Section 22.003 of the Local Government Code provides that an election for officers of Type “A” General Law Municipality shall be held annually on an authorized uniform election day; and

WHEREAS, Section 41.001a (2) of the Texas Election Code, as amended by the 84TH Texas Legislature, establishes the first Saturday of May 2020, as a Uniform Election Day for the purposes of conducting a General Election; and

WHEREAS, Section 3.004b of the Texas Election Code provides that the governing body of a municipality shall be the authority to order a General Election for electing Municipal Officers; and

WHEREAS, in accordance with Section 271.002 of the Texas Election Code, the Town general election will be conducted jointly with other political subdivisions of Denton County, Texas.

NOW, THEREFORE, BE IT ORDERED AND RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF BARTONVILLE, TEXAS, THAT:

SECTION 1

The Town Council of the Town of Bartonville hereby orders that a General Election be held on May 2, 2020, being the first Saturday in May of 2020, for the purposes of electing a Mayor and two councilmembers Places 2 and 4, for two-year terms each.

SECTION 2

The election precinct for said election shall be the regular precinct of Denton County (Precinct 4021) to the extent that they are within the corporate limits of the Town of Bartonville.

SECTION 3

The election will be conducted jointly with other political subdivisions in Denton County on May 2, 2020, pursuant to Chapters 31 and 271, Texas Election Code. The Town Administrator and the Town Secretary are hereby authorized to sign the contract with the Denton County Elections Administrator for the purpose of having Denton County furnish all or any portion of the election services and equipment needed to conduct the election.

SECTION 4

In accordance with Sections 31.097 and 271.006 of the Texas Election Code, Frank Phillips, Denton County Election Administrator, shall be appointed to serve as the Early Voting Clerk and his permanent county employees are appointed as deputy early voting clerks.

Frank Phillips, Early Voting Clerk
PO Box 1720
Denton, TX 76202

Applications for ballots by mail must be received no later than the close of business on Tuesday, April 21, 2020

SECTION 5

Early Voting by personal appearance will be held jointly with other Denton County public entities at Denton County’s Main Early Voting Site located at the Denton County Administration Building, 701 Kimberly Drive, Denton, Texas beginning on April 20, 2020 and continuing through April 28, 2020 at the dates and times set forth below:

**Denton County Administration Building
701 Kimberly Drive, Denton, TX**

<u>Date</u>	<u>Time</u>
Monday through Friday April 20 – April 24, 2020	8:00 a.m. – 5:00 p.m.
Saturday, April 25, 2020	8:00 a.m. – 5:00 p.m.
Monday and Tuesday April 27 – April 28, 2020	7:00 a.m. – 7:00 p.m.

Additional early voting locations will be identified in the contract executed with the Denton County Elections Administrator.

SECTION 6

The polling place for all of Precinct 4021 within the corporate limits of the Town of Bartonville will be located at a location determined by the Denton County Elections Administrator to be identified in the joint services agreement.

SECTION 7

The Town Secretary is hereby authorized and directed to file, publish and/or post, in the time and manner prescribed by law, all notices required to be so filed, published and/or posted in connection with the conduct of this election.

SECTION 8

The election shall be conducted pursuant to the election laws of the State of Texas.

APPROVED this the 15th day of January 2020.

APPROVED:

Bill Scherer, Mayor

ATTEST:

Tammy Dixon, Town Secretary



TOWN COUNCIL AGENDA ITEM NO. 3

CONSENT ITEM

DATE: January 21, 2020

FROM: Tammy Dixon, Town Secretary

ITEM: Consider approval of a resolution of the Town Council of the Town of Bartonville ordering a Special Election to be held May 2, 2020, for the purpose of submitting to the qualified voters of the Town of Bartonville, Texas, a ballot proposition to reauthorize the municipal street maintenance sales and use tax at the rate of one-half of one percent to continue providing revenue for maintenance and repair of municipal streets; and providing for a joint services contract with Denton County.

SUMMARY:

The purpose of this items is to order a special election for May 2, 2020, to submit a ballot proposition to the voters of the Town of Bartonville to reauthorize the municipal street maintenance sales and use tax at the rate of one-half of one percent to continue providing revenue for maintenance and repair of municipal streets.

On May 14, 2014, a reauthorization election was held in accordance with Section 327.007(b) of the Texas Tax Code, whereas the voters approved a proposition to continue the imposition of a one-fourth of one percent sales and use tax for street maintenance.

On May 7, 2016, a special election was held in accordance with 327.007(b) of the Texas Tax Code, whereas the registered voters of Bartonville approved a proposition to adopt a local sales and use tax at the rate of one-half of one percent to provide revenue for maintenance and repair of municipal streets.

Section 227.007 further provides that unless imposition of the sales and use tax is reauthorized by an election held in the same manner as the original sales and use tax election, the tax expires on the fourth anniversary of the date the tax originally took effect or the first day of the first calendar quarter occurring after the fourth anniversary.

In accordance with Section 271.002 of the Texas Election Code, the Town's special election will be conducted jointly with other political subdivisions of Denton County. The proposed resolution calls for the May 2, 2020, special election, and for provides for a joint services agreement with Denton County. The county will determine the early voting locations and election day polling places once it has identified all of the entities participating in the election.

FISCAL IMPACT:

\$10,000 - \$15,000

The Town will be entering a joint election services agreement with Denton County and the costs of the election will be shared with other entities conducting an election.

ATTACHMENTS:

- Draft Resolution

RECOMMENDATION: Move to approve a resolution of the Town Council of the Town of Bartonville ordering a Special Election to be held on May 2, 2020, for the purpose of submitting to the qualified voters of the Town of Bartonville, Texas, a ballot proposition to reauthorize the municipal street maintenance sales and use tax at the rate of one-half of one percent to continue providing revenue for maintenance and repair of municipal streets; and providing for a joint services contract with Denton County.

**TOWN OF BARTONVILLE, TEXAS
RESOLUTION 2020-02**

A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF BARTONVILLE, TEXAS, ORDERING A SPECIAL ELECTION TO BE HELD ON MAY 2, 2020, FOR THE PURPOSE OF SUBMITTING TO THE QUALIFIED VOTERS OF THE TOWN OF BARTONVILLE TEXAS, A BALLOT PROPOSITION TO REAUTHORIZE THE IMPOSITION OF A LOCAL SALES AND USE TAX IN THE TOWN OF BARTONVILLE, AT THE RATE OF ONE-HALF OF ONE PERCENT TO PROVIDE REVENUE FOR MAINTENANCE AND REPAIR OF MUNICIPAL STREETS; PROVIDING FOR A JOINT CONTRACT AGREEMENT WITH DENTON COUNTY TO CONDUCT THE ELECTION; ORDERING NOTICES OF ELECTION TO BE GIVEN; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Town of Bartonville, Texas is a Type A General Law Municipality located in Denton County, Texas, created in accordance with the provisions of the Texas Local Government Code and operating pursuant to the enabling legislation of the State of Texas; and

WHEREAS, On February 4, 2001, an election was held in accordance with 327.005 of the Texas Tax Code, wherein the registered voters of Bartonville Texas, approved a proposition to impose a one-fourth of one percent sales and use tax to provide revenue for maintenance and repair of municipal streets; and

WHEREAS, On November 8, 2005, a reauthorization election was held in accordance with 327.007(b) of the Texas Tax Code, wherein the registered voters of Bartonville, Texas, approved a proposition to continue the imposition of a one-fourth of one percent sales and use tax to provide revenue for maintenance and repair of municipal streets; and

WHEREAS, On May 8, 2010, a reauthorization election was held in accordance with 327.007(b) of the Texas Tax Code, wherein the registered voters of Bartonville, Texas, approved a proposition to continue the imposition of a one-fourth of one percent sales and use tax to provide revenue for maintenance and repair of municipal streets; and

WHEREAS, On May 10, 2014, a reauthorization election was held in accordance with 327.007(b) of the Texas Tax Code, wherein the registered voters of Bartonville, Texas, approved a proposition to continue the imposition of a one-fourth of one percent sales and use tax to provide revenue for maintenance and repair of municipal streets; and

WHEREAS, On May 7, 2016, a special election was held in accordance with 327.007(b) of the Texas Tax Code, wherein the registered voters of Bartonville, Texas, approved a proposition to adopt a local sales and use tax in the Town of Bartonville, Texas, at the rate of one-half of one percent to provide revenue for maintenance and repair of municipal streets; and

WHEREAS, Section 327.007 of the Texas Tax Code provides that unless imposition of the sales and use tax is reauthorized by an election held in the same manner as the original sales and use tax election, the tax expires on the fourth anniversary of the date the tax originally took effect or the first day of the first calendar quarter occurring after the fourth anniversary; and

WHEREAS, Section 41.001(a), Election Code, provides that except as otherwise provided for, each special election in this state shall be held on the second Saturday in May or the first Tuesday after the first Monday in November; and

WHEREAS, The Town Council for the Town of Bartonville, Texas desires to engage Denton County for the purpose of having Denton County furnish all or any portion of the election services and equipment needed to conduct the election.

NOW, THEREFORE, BE IT ORDERED BY THE TOWN COUNCIL OF THE TOWN OF BARTONVILLE, TEXAS, THAT:

SECTION 1.

The above and foregoing premises are true and correct and are incorporated herein and made a part hereof for all purposes.

SECTION 2.

The Town Council of the Town of Bartonville hereby orders that a Special Election be held on May 2, 2020, being the second Saturday in May, for the purposes of reauthorizing the local sales and use tax in the Town of Bartonville, Texas, at the rate of one-half of one percent to continue providing revenue for maintenance and repair of municipal streets, which such ballot shall read so that voters may cast their ballots either “**FOR**” or “**AGAINST**” the following proposition which shall appear on the ballot in substantially the following form:

FOR (____)

AGAINST (____)

"The reauthorization of the local sales and use tax in the Town of Bartonville, Texas at the rate of one-half of one percent, continue providing revenue for maintenance and repair of municipal streets."

“La reautorización del impuesto local sobre ventas y uso en la Ciudad de Bartonville, a una tasa del 0,50% para continuar proporcionando ingresos para el mantenimiento y la reparación de las calles municipales”.

SECTION 3

The special election will be conducted jointly with other political subdivisions in Denton County on May 2, 2020, pursuant to Chapters 31 and 271, Texas Election Code. The Town Administrator and the Town Secretary are hereby authorized to sign the contract with the Denton County Elections Administrator for the purpose of having Denton County furnish all or any portion of the election services and equipment needed to conduct the special election.

SECTION 4

In accordance with Sections 31.097 and 271.006 of the Texas Election Code, Frank Phillips, Denton County Election Administrator, shall be appointed to serve as the Early Voting Clerk and his permanent county employees are appointed as deputy early voting clerks.

Frank Phillips, Early Voting Clerk
PO Box 1720
Denton, TX 76202

Applications for ballots by mail must be received no later than the close of business on Tuesday, April 21, 2020.

SECTION 5

Early Voting by personal appearance will be held jointly with other Denton County public entities at Denton County’s Main Early Voting Site located at the Denton County Administration Building, 701 Kimberly Drive, Denton, Texas beginning on April 20, 2020 and continuing through April 28, 2020 at the dates and times set forth below:

**Denton County Administration Building
701 Kimberly Drive, Denton, TX**

<u>Date</u>	<u>Time</u>
Monday through Friday April 20 – April 24, 2020	8:00 a.m. – 5:00 p.m.
Saturday, April 25, 2020	8:00 a.m. – 5:00 p.m.
Monday and Tuesday April 27 – April 28, 2020	7:00 a.m. – 7:00 p.m.

Additional early voting locations will be identified in the contract executed with the Denton County Elections Administrator.

SECTION 6

The polling place for all of Precinct 4021 within the corporate limits of the Town of Bartonville will be located at a location determined by the Denton County Elections Administrator to be identified in the joint services agreement.

SECTION 7

The Town Secretary is hereby authorized and directed to file, publish and/or post, in the time and manner prescribed by law, all notices required to be so filed, published and/or posted in connection with the conduct of this election.

SECTION 8

The special election shall be conducted pursuant to the election laws of the State of Texas.

APPROVED this the 15th day of January 2020.

APPROVED:

Bill Scherer, Mayor Pro Tem

ATTEST:

Tammy Dixon, Town Secretary

(Seal)



TOWN COUNCIL AGENDA ITEM NO. 4

CONSENT ITEM

DATE: January 21, 2020

FROM: Tammy Dixon, Town Secretary

ITEM: Consider approval of a letter of extension for the CoServ Acceptance of Franchise Ordinance No. 675-19 approved on November 19, 2019; and authorizing the Town Administrator to execute same on behalf of the Town.

SUMMARY:

On November 19, 2019, the Town Council adopted Ordinance No. 675-19 extending the term of the franchise granted to CoServ Gas, Ltd., d/b/a CoServ Gas (“CoServ”) to provide gas service to the general public in the Town. In order to accept the Ordinance, Section 8 of the Ordinance required that, within thirty (30) days after the passage and publication of the Ordinance, CoServ file with the Town an acceptance letter in the form of Exhibit A attached to the Ordinance.

CoServ inadvertently did not file the letter with the Town. This item authorizes a letter of extension agreeing that CoServ may accept the Ordinance by filing such acceptance letter with the Town within thirty (30) days after the date of this letter. Upon and subject to the filing of such written acceptance, the Ordinance shall become effective thirty (30) days after the date of this letter.

FISCAL IMPACT:

N/A

ATTACHMENTS:

- Draft Letter

RECOMMENDATION: Move to approve a letter of extension for the CoServ Acceptance of Franchise Ordinance No. 675-19 approved on November 19, 2019; and authorizing the Town Administrator to execute same on behalf of the Town



January 22, 2020

CoServ Gas, Ltd.,
d/b/a CoServ Gas
7701 South Stemmons Freeway
Corinth, Texas 76210
Attention: Donald R. Clary, Jr., President

Dear Mr. Clary:

On November 19, 2019, the Town Council of the Town of Bartonville, Texas, passed Ordinance No. 675-19 (the "Ordinance"), which, among other things, extended the term of the franchise granted to CoServ Gas, Ltd., d/b/a CoServ Gas ("CoServ"), under Ordinance No. 252-98 to provide gas service to the general public in the Town. In order to accept the Ordinance, Section 8 of the Ordinance required that, within thirty (30) days after the passage and publication of the Ordinance, CoServ file with the Town an acceptance letter in the form of Exhibit A attached to the Ordinance.

As discussed, it appears that the acceptance letter was never filed with the Town. Accordingly, on behalf of the Town, the undersigned agrees that CoServ may accept the Ordinance by filing such acceptance letter with the Town within thirty (30) days after the date of this letter. Upon and subject to the filing of such written acceptance, the Ordinance shall become effective thirty (30) days after the date of this letter.

Sincerely,

Michael Montgomery
Town Administrator
Town of Bartonville, Texas



TOWN COUNCIL AGENDA ITEM NO. 5

REGULAR ITEM

DATE: January 21, 2020

FROM: Michael Montgomery, Town Administrator

ITEM: Discussion and provide direction on the 2019 Residential Streets project.

SUMMARY:

Work has begun to finish the remainder of the 2019 Residential Streets projects. Staff was given direction by Council to overlay new asphalt on the existing asphalt on Hunter Court after the spot repairs were addressed. However, after the necessary spot repairs were identified, staff received the following note from the Town Engineer:

Based on our visit to the site this morning, there is no way we can overlay the existing pavement. It is simply too distressed, and we can't really tell what the subgrade issues are and what are pavement issues. I recommend we go back to the original plan of removing the pavement and checking the base. While we wait to get Council approval of that approach, the contractor can go to Cardinal and do that reconstruction.

If we proceed with spot repairs, we would need to repair 1,886 SY. If we do the spot repairs with full-depth asphalt (which would probably be the cheapest and most effective method) and assumed a depth of 4" we would have an estimated cost of \$98,000 for spot repairs. It is likely that some of the repairs would be deeper than 4" resulting in a greater cost.

Therefore, staff and the Town Engineer are proposing to mill the existing asphalt, repair soft subgrade spots, and overlay with new asphalt. The cost to mill the old asphalt (\$11,491) will no longer be removed from the original contract. It will cost approximately \$10,000 to \$20,000 to repair the soft subgrade spots. A firm number cannot be given at this time because these spots cannot be identified until the existing asphalt is removed.

FISCAL IMPACT:

Increase in contract price approximately \$10,000 to \$20,000

LEGAL REVIEW:

N/A

ATTACHMENTS:

N/A

RECOMMENDATION: Discussion item.

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TOWN COUNCIL AGENDA ITEM NO. 6

REGULAR ITEM

DATE: January 21, 2020

FROM: Tammy Dixon, Town Secretary

ITEM: Update on pedestrian walkway between the Bartonville Store and Bartonville Town Hall.

SUMMARY:

The Town of Bartonville and the Bartonville Store entered into a Shared Parking Lot Agreement in January 2019. To provide a safe access between the properties and pedestrian walkway is needed.

The Bartonville Community Development Corporation budgeted to construct a pedestrian walkway between the Bartonville Store and Bartonville Town Hall. The Board asked the Town Engineer for design and costs estimates for the construction of a sidewalk with railings along the roadway or the possibility of a pedestrian bridge over the drainage channel.

Due to the FMEA floodplain elevation and bridge is not feasible as the costs would exceed \$200,000.

The Town Engineer proposed a sidewalk all the way between the parking lots with a pedestrian railing at the headwall, and a raised sidewalk across the culvert to provide a curb that would help separate the traffic from sidewalk. He solicited the project and received three proposals ranging from \$34,582 to \$57,621.

FISCAL IMPACT:

\$35,000

LEGAL REVIEW:

N/A

ATTACHMENTS:

Solicitation letter with illustrations.

RECOMMENDATION: N/A



www.tnpinc.com

engineers
surveyors
landscape architects

**Town of Bartonville Economic Development Corporation
Pedestrian Access Project
Request for Proposal**

TEXAS
FORT WORTH
DENTON
ALLEN
SAN ANTONIO
CYPRESS
SUGAR LAND

GEORGIA
BLAIRSVILLE
ALBANY

August 23, 2019

The Town of Bartonville Economic Development Corporation (EDC) hereby requests a lump sum proposal for construction of a concrete pedestrian access walk at the Bartonville Town Hall, 1941 E. Jeter, Bartonville, TX 76226.

The project is shown on the attached exhibits, and consists generally of the following:

- 660 SF of 5" thick reinforced concrete sidewalk
- 39 LF of TUF-rail pedestrian rail (Thompson Fabricating) mounted on the existing headwall
- 53 LF of TUF-rail pedestrian rail (Thompson Fabricating) mounted on the sidewalk
- Approx. 10 SY of 4" Type C asphalt
- Limited grading as necessary to ensure proper drainage
- Solid Bermuda sod as needed to restore the area
- Remove and replace one existing sign
- Erosion control (hay bales)
- Traffic Control (see attached requirements)

An alternate price is requested for installing 53' LF of a T 411 Concrete Traffic Rail (with concrete foundation) between the walk and the street as shown on the plans, instead of the pedestrian rail.

General Contract Conditions will be the North Central Texas Council of Governments (NCTCOG) Public Works Construction Standards, Fifth Edition. A one-year warranty on all materials and workmanship will be required.

Your proposal should be submitted to the Town of Bartonville Economic Development Corporation at the address shown above by 4:00 pm, September 6, 2019. Submittals may be in person or by email to Tammy Dixon at tdixon@townofbartonville.com. Questions should be directed to Gary L. Vickery, P.E., Teague Nall and Perkins, Inc., 3200 S. Interstate 35E, Suite 1129, Denton, TX 76210 or at gvickery@tnpinc.com or by phone at 940-205-4402. This solicitation is a Request for Proposal, not a public bid opening. The EDC reserves the right to select the proposal that provides the best value to the EDC.

Prior to award the selected proposer may be asked to submit references for similar work.

Bartonville Town Hall
1941 E. Jeter Road

Pedestrian Rail

6' Walk



E. Jeter Road

Curb





Pedestrian Rail

6' Concrete Sidewalk

Pedestrian Rail or
Alternate T411
Concrete Rail

4" Asphalt



Pedestrian Rail

6' Concrete Sidewalk

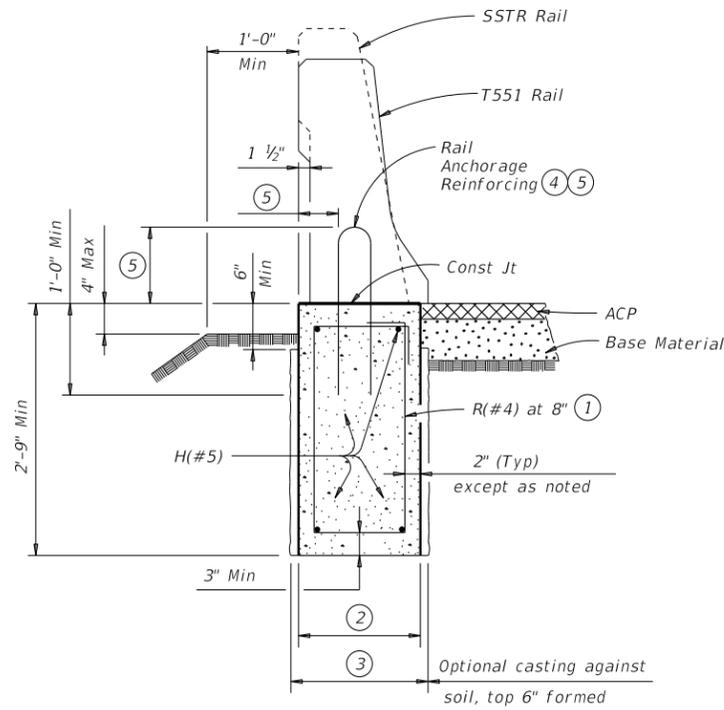
6" Curb

4" Asphalt



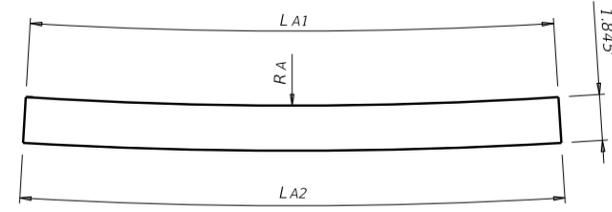
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DATE: FILE:

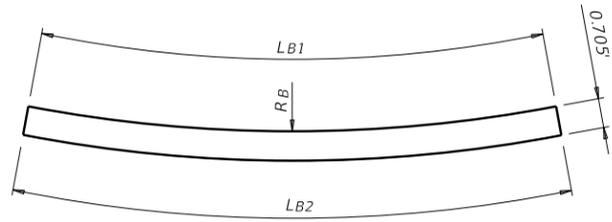


TRAFFIC RAIL FOUNDATION
(Showing T551 & SSTR Rails, other Bridge Rails similar)

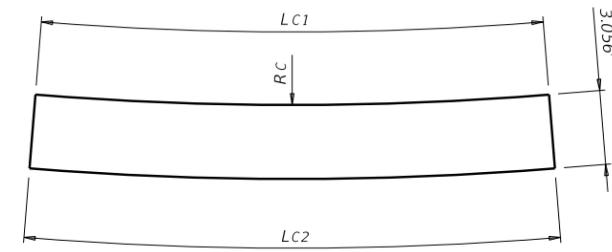
- ① Stirrup hook length is 5". (Typ)
- ② 1'-4" for Bridge Rail Types: All rails except for T224, C412, T66, C66, T80HT and T80SS. Approximate Footing Concrete = 0.14 CY/LF and Reinforcement = 11.5 LB/LF.
1'-7" for Bridge Rail Types: T224, C412, T66, C66, T80HT and T80SS. Approximate Footing Concrete = 0.16 CY/LF and Reinforcement = 12.0 LB/LF.
- ③ 1'-6" for Bridge Rail Types: All rails except for T224, C412, T66, C66, T80HT and T80SS.
1'-9" for Bridge Rail Types: T224, C412, T66, C66, T80HT and T80SS.
- ④ Modify reinforcement on standard bridge rail anchorage if necessary by extending rail anchorage 12" Min, vertically, into traffic rail foundation.
- ⑤ See applicable bridge rail standard.



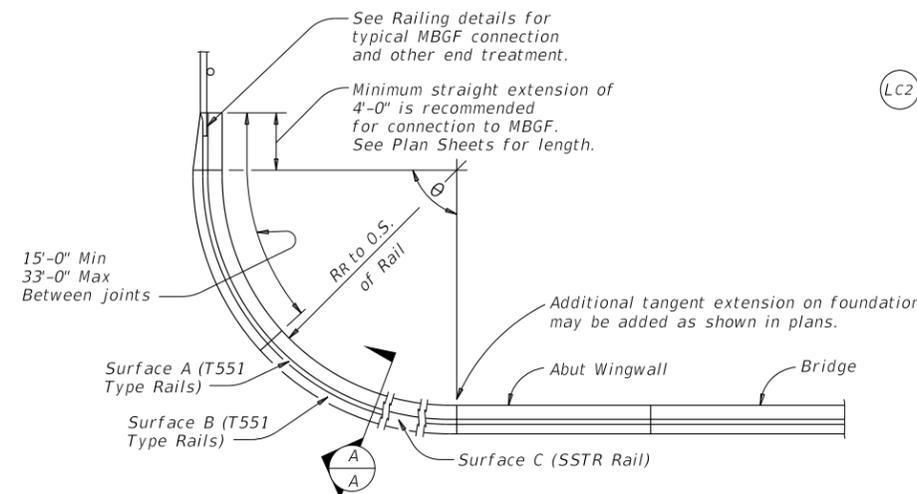
DEVELOPED SURFACE-A
(T551 Type Rail)



DEVELOPED SURFACE-B
(T551 Type Rail)



DEVELOPED SURFACE-C
(SSTR Rail)



CURVED T551 & SSTR TYPE RAILING AT BRIDGE ENDS

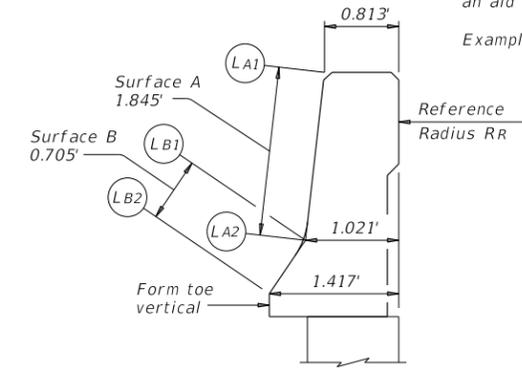
TABLE OF DEVELOPED SURFACES
DIMENSIONS FOR $\theta = 90^\circ$

Reference Radius RR (ft) to back of Rail	T551 TYPE RAILS						SSTR RAIL		
	Radius RA ft	Arc Length		Radius RB ft	Arc Length		Radius RC ft	Arc Length	
		LA1 ft	LA2 ft		LB1 ft	LB2 ft		LC1 ft	LC2 ft
10	95.76	16.99	17.31	19.63	17.31	17.93	55.66	16.69	17.61
15	140.04	24.84	25.17	28.54	25.17	25.79	81.86	24.54	25.46
20	184.32	32.69	33.02	37.44	33.02	33.64	108.05	32.40	33.31
25	228.60	40.55	40.87	46.35	40.87	41.50	134.25	40.25	41.17
30	272.88	48.40	48.73	55.25	48.73	49.35	160.44	48.11	49.02

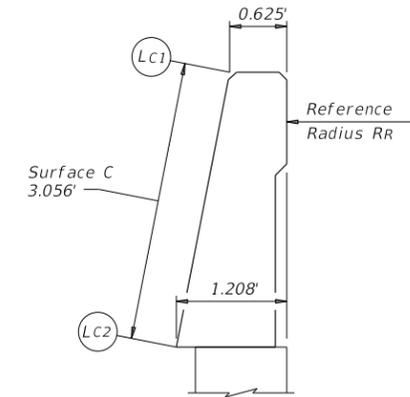
$RA = 8.8560(RR + 0.813')$ $RB = 1.7811(RR + 1.021')$ $RC = 5.2389(RR + 0.625')$
 $LA1 = 1.5708(RR + 0.813')$ $LB1 = 1.5708(RR + 1.021')$ $LC1 = 1.5708(RR + 0.625')$
 $LA2 = 1.5708(RR + 1.021')$ $LB2 = 1.5708(RR + 1.417')$ $LC2 = 1.5708(RR + 1.208')$

The linear ratio may be used to obtain the above arc length dimensions for included θ angles other than 90° . The dimensions are intended as an aid in constructing forms for curved SSTR & Type T551 Railing.

Example: For RR = 10' & $80^\circ \sim LA1 = 16.99(\frac{80}{90})$



SECTION A-A
(T551 Type Rails)



SECTION A-A
(SSTR Rail)

DESIGN GUIDANCE:
The use of curved rail sections at bridge ends must be appropriate for the speed and site conditions.

MATERIAL NOTES:
Provide Class "C" concrete. Provide Class "C" (HPC) if required elsewhere.
Provide Grade 60 reinforcing steel.
Epoxy coat or galvanize all reinforcing steel if required elsewhere.
Provide bar laps, where required, as follows:
Uncoated or galvanized ~ #5 = 2'-4"
Epoxy coated ~ #5 = 3'-6"

GENERAL NOTES:
The foundations indicated are suitable for mounting typical concrete bridge barrier type railings. The design resistance is based on the current AASHTO bridge railing requirements with the assumption of fair to good soil support conditions. Poor soil conditions will require suitably deeper foundations. See Railing standards for details not shown.
The primary use of the curved railing detail is to avoid the necessity of curved MBGF at the ends of bridges adjacent to grade intersections.
This detail is intended for use as a guide to unusual railing anchorage situations but may be included in the plans, modified as necessary to apply to specific installations required on the project.
Payment for railing foundations will be by CY of Class "C" or Class "C" (HPC) concrete.
Reinforcing steel quantities shown are for contractor's information only.
The associated bridge railing will be paid for by the linear foot which includes the concrete and reinforcement.
Excavation will be subsidiary to other Items.

Cover dimensions are clear dimensions, unless noted otherwise.

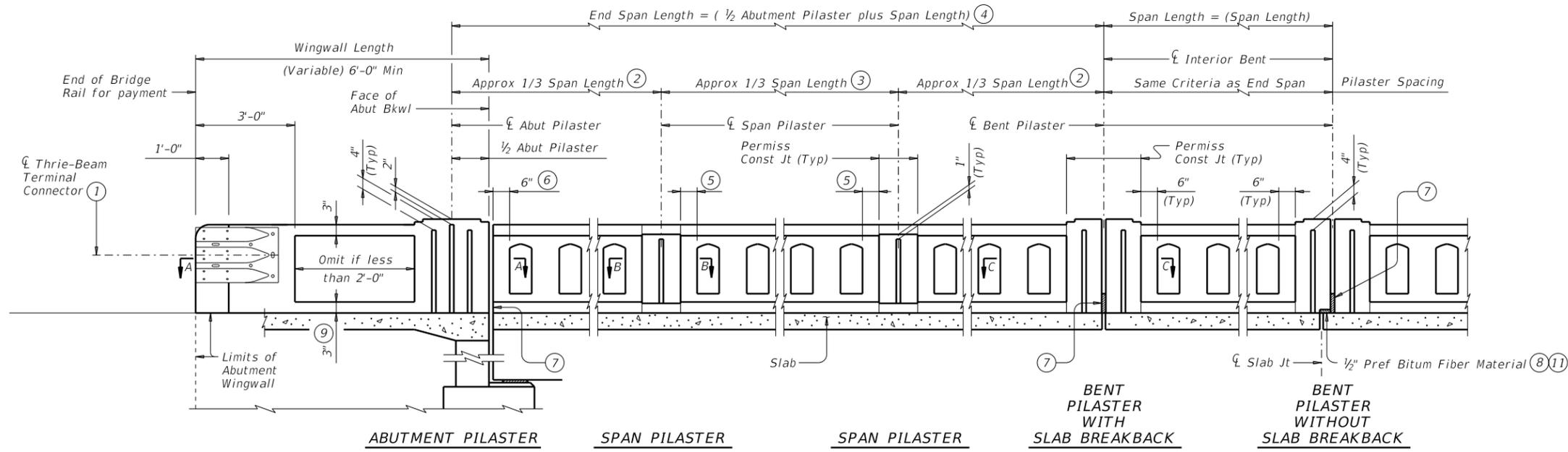
Texas Department of Transportation
BRIDGE DIVISION STANDARD

TRAFFIC RAIL FOUNDATION AND MISCELLANEOUS DETAILS

TRF

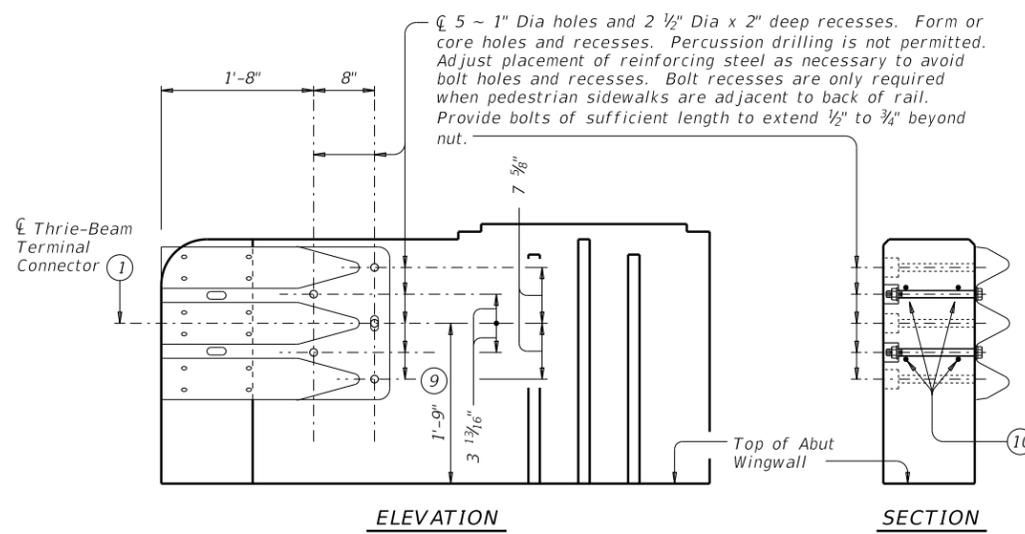
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REVISIONS				
DIST: 0000	COUNTY: 0000			SHEET NO. 0000

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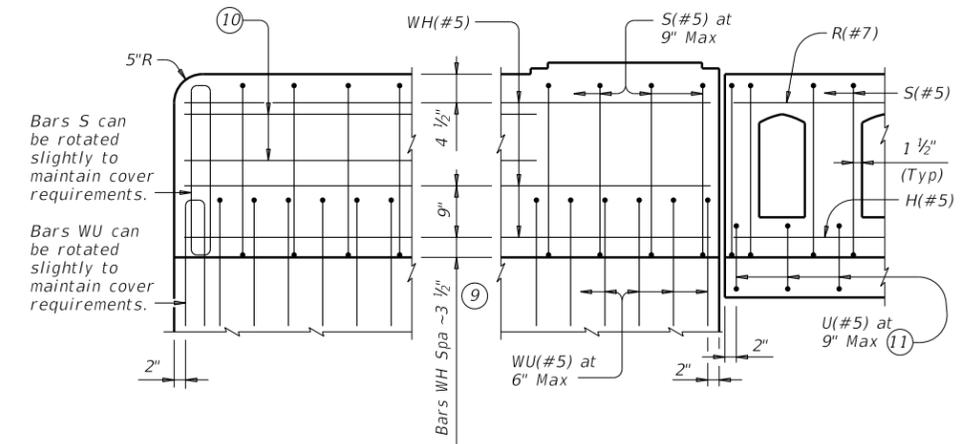


ROADWAY ELEVATION OF RAIL

- ① Terminal Connectors and associated hardware are to be paid for under the Item "Metal Beam Guard Fence". Attach Metal Beam Guard Fence Transitions to the bridge unless otherwise shown in the plans.
- ② Number of windows in exterior bays are equal.
- ③ Number of windows in interior bay(s) are not less than the amount in exterior bays (Note 2).
- ④ Space Span Pilasters at 1/3 span length (Approx) when spans are 100 ft and less, as shown. Space Span Pilasters at 1/5 span length (Approx) for spans greater than 100 ft.
- ⑤ Dimension is the same for all posts adjacent to Span Pilasters in a span. Dimension may vary from span to span, Min = 3", Max = 7 1/2".
- ⑥ Min = 6", Max = 1'-3".
- ⑦ Provide rail joints at ends of all spans the same width as Slab joint opening, except that Rail Joints over construction joints must be 1/2" Min to 3/4" Max in width. Joints must be open if slab joint opening is not sealed. Joints over construction joints and over sealed deck joints must be plugged. Forming material used in joints may be left in place if it is light in color and compressible, such as the following materials: polystyrene, molded cork granules, sponge rubber sheet, etc. If forming material is not left in place, plug the bottom 6" with slab joint sealing compound to prevent drainage and staining.
- ⑧ Place Preformed Bituminous Fiber Material between slab and rail when rail extends over expansion joint. Shift Bars U as necessary.
- ⑨ Increase 2" for structures with overlay.
- ⑩ Place 4 additional Bars WH(#5) 3'-8" in length inside Bars S(#5) and centered 2'-0" from end of rail when Terminal Connections are required. Field bend as needed.
- ⑪ Shift U Bars from region below 1/2" Preformed Bituminous Fiber Material at joints.

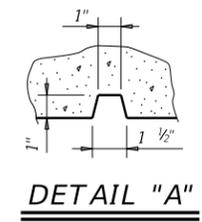


TERMINAL CONNECTION DETAILS
(Showing parapet with Pilaster on 6'-0" Wingwall)

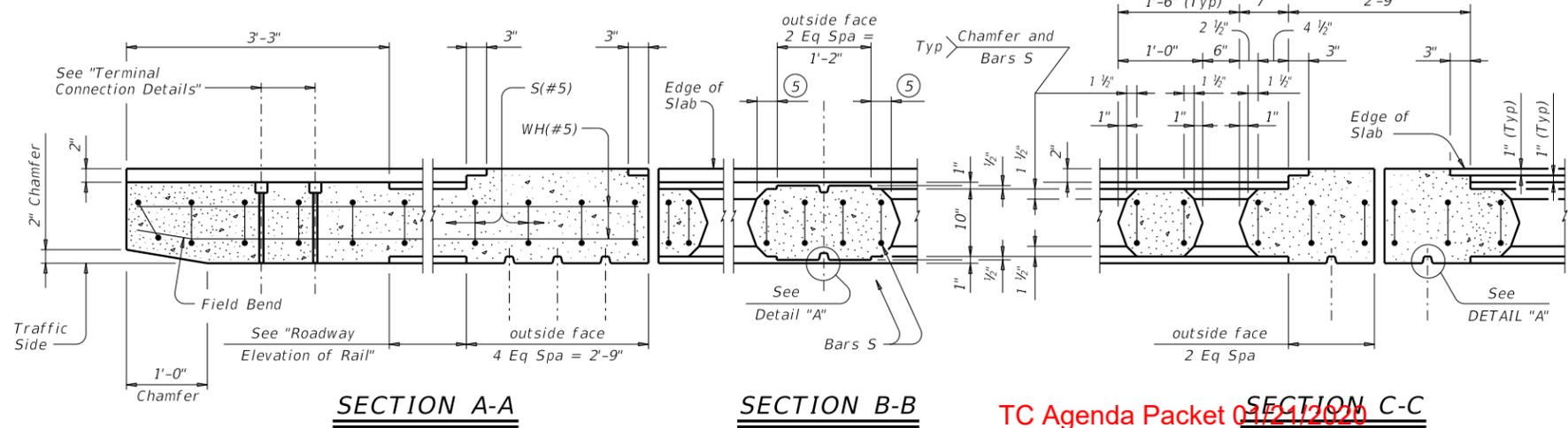


ELEVATION SHOWING TYPICAL REINFORCING PLACEMENT

The use of this railing is restricted to speeds of 45 mph or less.



DETAIL "A"



SECTION A-A

SECTION B-B

SECTION C-C

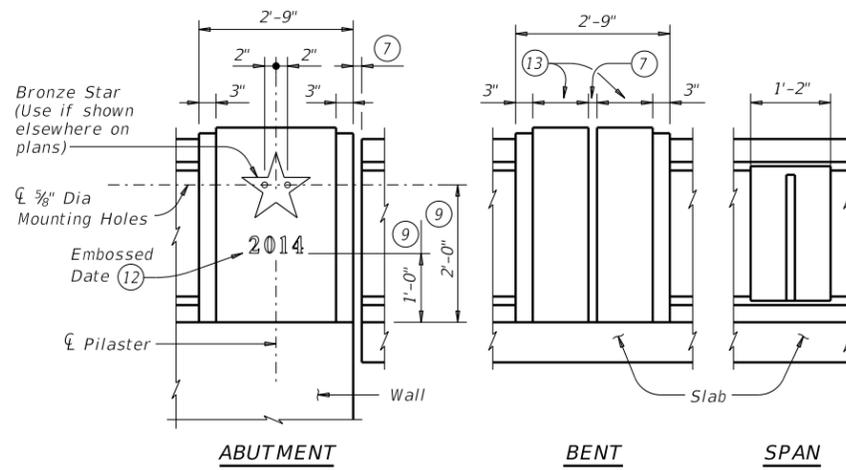
TC Agenda Packet 01/21/2020

		Bridge Division Standard	
TRAFFIC RAIL TEXAS CLASSIC			
TYPE T411			
FILE: r1std008-18.dgn	DN: TxDOT	CK: TxDOT	DW: TxDOT
©TxDOT March 2018	CONT	SECT	JOB
REVISIONS			HIGHWAY
	DIST	COUNTY	SHEET NO.

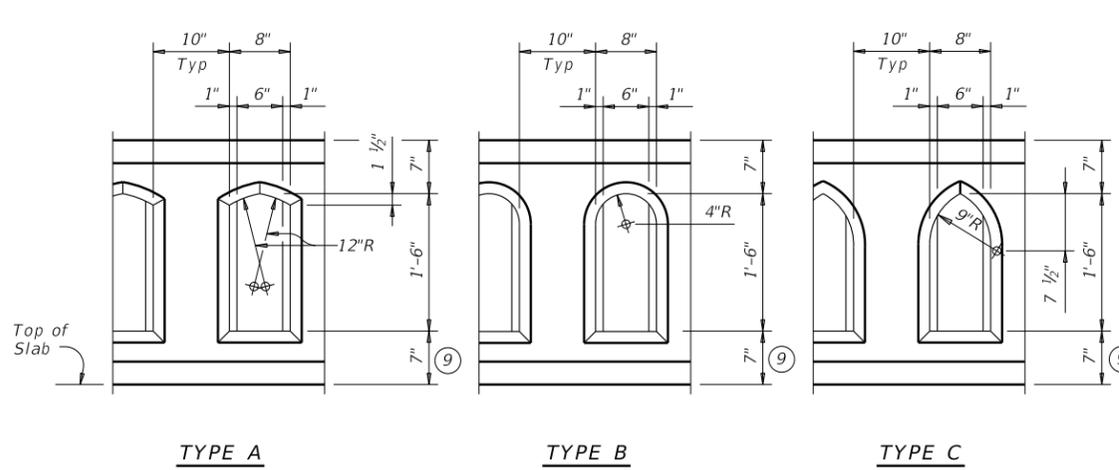
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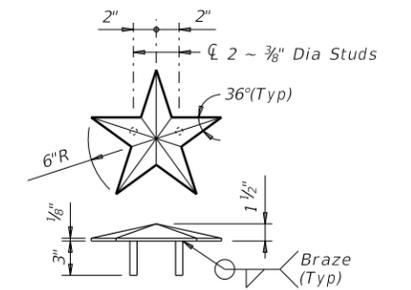
DATE: FILE:



EXTERIOR PILASTER ELEVATIONS



WINDOW TYPES



BRONZE STAR DETAIL

Two known manufacturers are:

1. Kassons Castings
Austin, Texas
2. Southwell Company
San Antonio, Texas

CONSTRUCTION NOTES:

Attach Bronze Star with a Type III Class C, D, E, or F epoxy adhesive. Clamp star until epoxy achieves set. Remove any visible epoxy "squeeze out" from under star. Face of rail and pilasters, parapet must be plumb unless otherwise approved. Apply a one rub finish to all railing surfaces unless otherwise shown elsewhere on the plans.

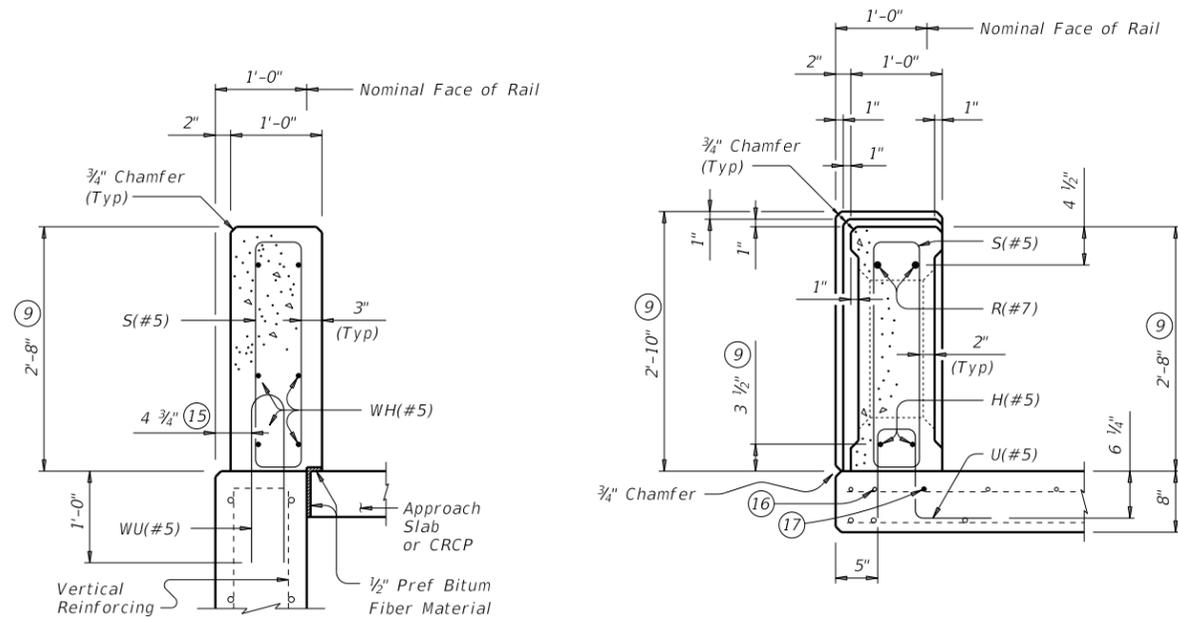
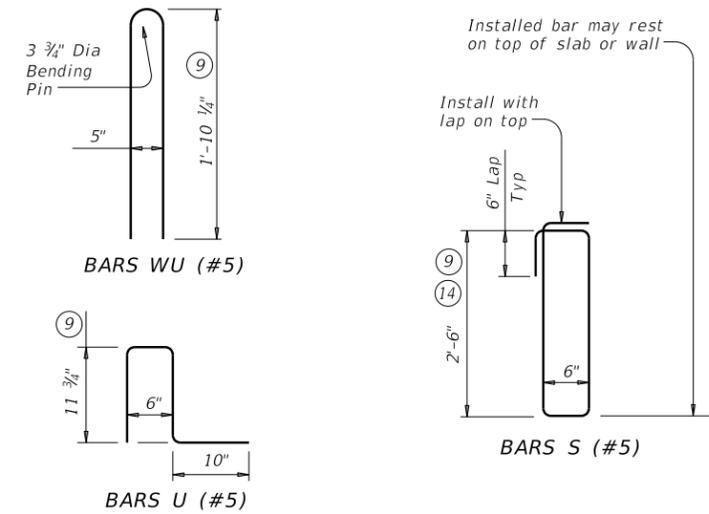
MATERIAL NOTES:

Provide Class "C" concrete for railing. Provide Class "C" (HPC) concrete if shown elsewhere in the plans. Provide Grade 60 reinforcing steel. Epoxy coat or galvanize all reinforcing steel if slab bars are epoxy coated or galvanized. Bronze Star must be cast of architectural bronze having the following composition: Copper 85 %, Tin 5 %, Lead 5 %, Zinc 5 %. Provide bar laps, where required, as follows:
Uncoated or galvanized ~ #5 = 2'-0"
Uncoated or galvanized ~ #7 = 2'-11"
Epoxy coated ~ #5 = 3'-0"
Epoxy coated ~ #7 = 4'-4"

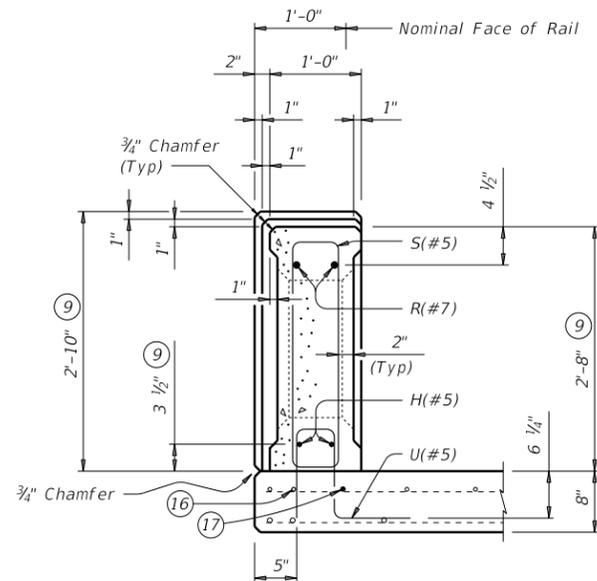
GENERAL NOTES:

This rail was evaluated based on the results of previous crash tests and approved for a NCHRP Report 350 TL-2 rating. This rail is only approved for low speed use, speeds of 45 mph and less. Do not use this railing on bridges with expansion joints providing more than 5" movement. Rail anchorage details shown on this standard may require modification for select structure types. See appropriate details elsewhere in plans for these modifications. Shop drawings will not be required for this rail. See Bridge Layout or other plan sheets for the following: dimensions with the number of span pilasters, dimensions with the number of windows, window type, inclusion of bronze stars, inclusion of construction year with abutment identity. Submit erection drawings showing span number, span pilaster locations, number of windows between pilasters and spacing to first window (see Note 6) to the Engineer for approval. Average weight of railing with no overlay increase and no pilasters is 270 plf. Cover dimensions are clear dimensions, unless noted otherwise. Reinforcing bar dimensions shown are out-to-out of bar.

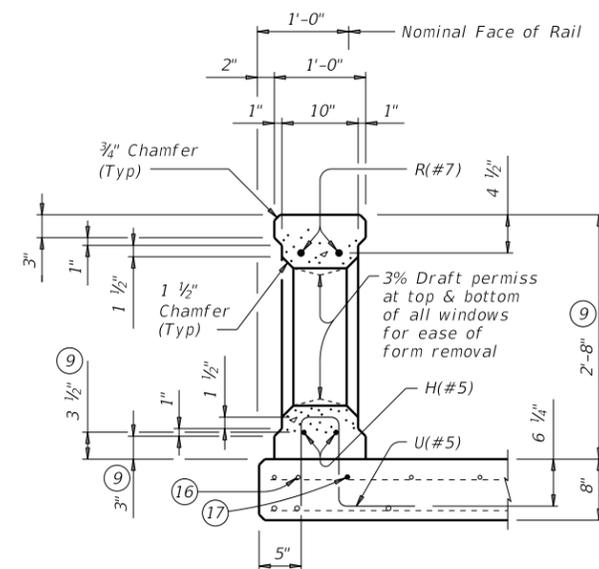
- 7 Provide rail joints at ends of all spans the same width as Slab joint opening, except that Rail Joints over construction joints must be 1/4" Min to 3/4" Max in width. Joints must be open if slab joint opening is not sealed. Joints over construction joints and over sealed deck joints must be plugged. Forming material used in joints may be left in place if it is light in color and compressible, such as the following materials: polystyrene, molded cork granules, sponge rubber sheet, etc. If forming material is not left in place, plug the bottom 6" with slab joint sealing compound to prevent drainage and staining.
- 9 Increase 2" for structures with overlay.
- 12 Construction year (use if shown elsewhere on plans) 3" High "Plantin Bold" Typeface with 1/4" recess. Placed at one Abutment only or as directed by the Engineer.
- 13 Dimensions must be the same on each side of joint.
- 14 Reduce by 2" or field bend over Preformed Bituminous Fiber Material to gain cover.
- 15 5 1/4" when vertical reinforcing has closer clear cover over horizontal reinforcing in abutment wingwalls or retaining walls on traffic side of wall.
- 16 As an aid in supporting reinforcement, additional longitudinal bars may be used in the slab with the approval of the Engineer. Such bars must be furnished at the Contractor's expense.
- 17 Top longitudinal slab bar may be adjusted laterally 3" plus or minus to tie reinforcing.
- 18 Bronze Star dimensions of the final product can be slightly smaller due to shrinkage after casting.



ON ABUTMENT WINGWALLS OR CIP RETAINING WALLS



SECTION THRU POST ON BRIDGE SLAB (Showing Pilaster)



SECTION THRU WINDOW ON BRIDGE SLAB

SECTIONS THRU RAIL

TC Agenda Packet 01/21/2020

		Bridge Division Standard	
TRAFFIC RAIL TEXAS CLASSIC			
TYPE T411			
FILE: r1std008-18.dgn	DN: TxDOT	CK: TxDOT	DW: TxDOT
CON: TxDOT	SECT:	JOB:	HIGHWAY:
REVISIONS			
DIST:	COUNTY:	SHEET NO.	



TOWN COUNCIL AGENDA ITEM NO. 7

REGULAR ITEM

DATE: January 21, 2020

FROM: Michael Montgomery, Town Administrator

ITEM: Discuss and consider approval of an ordinance amending Attachment “A” of Section 10 entitled “Rate Adjustment” of the Exclusive Franchise Agreement for Solid Waste Collection authorizing a 2.3% CPI increase for solid waste and a 2.5% increase on disposal and recycle processing on residential, commercial, and roll off services.

SUMMARY:

On January 8, 2020, the Town received a request from Waste Connections successor-in-interest to Progressive Waste Solutions for an increase in rates effective March 1, 2020.

The Town Council selected Waste Connections as the exclusive solid waste hauler for solid waste services in the Town effective January 1, 2014. Pursuant to Section 10 of the Franchise Agreement, on the anniversary date of the agreement, the company shall have the right to increase the rates in accordance with the Consumer Price Index-Urban Consumers (CPI-U). Further, they can request a landfill disposal adjustment, due to an increase in disposal cost.

The company was granted a rate adjustment (1.78%) on December 16, 2014, a 3% rate adjustment on January 17, 2017, a 4.2% rate adjustment on January 16, 2018, and a 2.3% increase on February 19, 2019.

The requested increase represents a 2.3% CPI increase for solid waste and a 2.5% increase on disposal and recycling. The current residential rate per home is \$10.22 for trash and \$6.15 for recycle. If approved, the new rates will be \$10.71 for trash and \$6.44 for recycle, a total of \$17.16

FISCAL IMPACT: N/A

LEGAL REVIEW: N/A

ATTACHMENTS:

- Waste Connections Rate Increase Request
- Draft Ordinance

RECOMMENDATION: Move to approve an ordinance amending Attachment “A” of Section 10 entitled “Rate Adjustment” of the Exclusive Franchise Agreement for Solid Waste Collection authorizing a 2.3% CPI increase for solid waste and a 2.5% increase on disposal and recycle processing on residential, commercial, and roll off services.



Waste Connections Lone Star, Inc.
4001 Old Denton Rd
Haltom City, TX 76117

Honorable Mayor and Members of Council
Town of Bartonville
1941 Jeter Rd.
Bartonville, TX 76226

Re: Price Increase request:

Honorable Mayor and Members of Council:

Waste Connections Lone star, Inc. would like to take this opportunity to express our appreciation for your business.

Per Page 8 of 22, Section 10.A CPI-U Adjustment in our contract we would like to present to you our request for a 2.3% CPI increase on residential, commercial, and roll off services.

Per PAGE 8 OF 22, Section 10.B Operating Cost Adjustment in our contract we would like to present to you our request for a 2.5% disposal and recycle processing increase on residential, commercial, and roll off services.

Over the past 12 months Waste Connections has received a \$4.00 per ton increase for Municipal Solid Waste disposal from the City of Denton Landfill, which is equivalent to a 22% increase. In addition, we saw a change in processing for single stream recycling. In January 2019 we were receiving a small rebate for single stream waste and began seeing a charge for processing starting at \$25 per ton and increased quickly to \$50 per ton for processing single stream recycling.

Your current residential rate per home is \$10.22 for trash and \$6.15 for recycle. Due to the increased cost incurred by Waste Connections, your new rates will be \$10.71 for trash and \$6.44 for recycle. The total new home rate for trash and recycle will be \$17.16

If you have any questions or need any additional information please feel free to contact me at your convenience.

Sincerely,

Brian Culhane
Site Manager
Waste Connections
Mobile 817-401-4644

**TOWN OF BARTONVILLE, TEXAS
ORDINANCE _____**

AN ORDINANCE OF THE TOWN COUNCIL OF THE TOWN OF BARTONVILLE, TEXAS, AMENDING ATTACHMENT “A” OF SECTION 10, ENTITLED “RATE ADJUSTMENT” OF THE EXCLUSIVE FRANCHISE AGREEMENT FOR THE COLLECTION, HAULING, RECYCLING AND DISPOSAL OF MUNICIPAL SOLID WASTE, CONSTRUCTION AND DEMOLITION WASTE, AND RECYCLABLE MATERIALS IN THE TOWN OF BARTONVILLE, TEXAS, ADOPTED BY ORDINANCE 555-13, AUTHORIZING A 2.3% INCREASE IN SOLID WASTE DISPOSAL RATES AND A 2.5% INCREASE IN THE DISPOSAL AND RECYCLING RATES; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Town of Bartonville, Texas is a type "A" General Law Municipality located in Denton County, created in accordance with the provisions of Chapter 6 of the Texas Local Government Code and operating pursuant to the enabling legislation of the State of Texas; and

WHEREAS, the collection of municipal solid waste is a governmental function performed for protection of the public health, safety and general welfare; and

WHEREAS, the Town Council of the Town of Bartonville, Texas (“Town Council”), adopted Ordinance No. 555-13 providing for an exclusive franchise for residential and commercial solid waste collection and recycling services to Progressive Waste Solutions in the Town of Bartonville; and

WHEREAS, the successor-in-interest to Progressive Waste Solutions is Waste Connections; and

WHEREAS, Pursuant to Section 10 of the Franchise Agreement, entitled “Rate Adjustment,” Waste Solutions is entitled to request an increase in the rates charged to the Town for solid waste collection services on each anniversary date of the Agreement; and

WHEREAS, the Town Council adopted Ordinance No. 574-14 on December 16, 2014, regarding a previous small rate adjustment; and

WHEREAS, the Town Council adopted Ordinance No. 616-17 on January 17, 2017, regarding a 3% rate adjustment; and

WHEREAS, the Town Council adopted Ordinance No. 627-18 on January 16, 2018, regarding a 4.2% rate adjustment; and

WHEREAS, the Town Council adopted Ordinance No. 653-19 on February 19, 2019, regarding a 2.3% rate adjustment; and

WHEREAS, Waste Connections has presented a proposed 2.3% rate adjustment in solid waste and a 2.5% rate adjustment in the disposal and recycling to the Agreement for residential and commercial rates as set forth on Exhibit “A” attached to this Ordinance; and

WHEREAS, the Town Council has reviewed the proposed rate adjustment and has agreed that the adjustment is fair and reasonable and, by this Ordinance, wishes to provide for an amendment to the Agreement in order to permit the imposition of such adjustment.

NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF BARTONVILLE, TEXAS, THAT:

SECTION 1.

The facts and matters set forth in the preamble of this Ordinance are hereby found to be true and correct.

SECTION 2.

Section 10 of the Agreement entitled “Rate Adjustment” is hereby amended and, effective with services to be provided beginning in March 1, 2020, the rates for residential and commercial services provided by Waste Connections shall be in accordance with the rates and fees set forth more particularly on Exhibit “A” attached hereto.

SECTION 3.

This Ordinance shall in no manner amend, change, supplement or revise any other terms or conditions of the Agreement as approved by Ordinance No. 555-13.

SECTION 4.

This Ordinance shall be cumulative of all provisions of Ordinances of the Town of Bartonville, Texas, except where the provisions of this Ordinance are in direct conflict with the provisions of such Ordinances, in which event the conflicting provisions of such Ordinances are hereby repealed.

SECTION 5.

It is hereby declared to be the intention of the Town Council that the phrases, clauses, sentences, paragraphs, and sections of this Ordinance are severable, and if any phrase, clause, sentence, paragraph, or section of this Ordinance should be declared unconstitutional by the valid judgment or decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs, or sections of this Ordinance, since the same would have been enacted by the Town Council without incorporation in this Ordinance of any such unconstitutional phrase, clause, sentence, paragraph, or section.

SECTION 6.

All rights and remedies of the Town of Bartonville are expressly saved as to any and all violations of the provisions of any Ordinances affecting solid waste collection and recycling,

which have accrued at the time of the effective date of this Ordinance; and, as to such accrued violations and all pending litigation, both civil and criminal, whether pending in court or not, under such Ordinances, same shall not be affected by this Ordinance but may be prosecuted until final disposition by the courts.

SECTION 7.

The Town Secretary of the Town of Bartonville is hereby directed to engross and enroll this Ordinance by copying the exact Caption and the Effective Date clause in the minutes of the Town Council of the Town of Bartonville and by filing this Ordinance in the Ordinance records of the Town.

SECTION 8.

The Town Secretary of the Town of Bartonville is hereby directed to publish in the Official Newspaper of the Town of Bartonville the Caption and the Effective Date of this Ordinance for two (2) days.

SECTION 9.

This Ordinance shall take effect and be in full force from and after its passage and publication.

AND IT IS SO ORDAINED.

PASSED AND APPROVED this the 21th day of January, 2020

APPROVED:

Bill Scherer, Mayor

(Seal)

ATTEST:

Tammy Dixon, Town Secretary

Exhibit A

Rate Sheet

(The rate sheet to be provided at the meeting)



TOWN COUNCIL AGENDA ITEM NO. 8

REGULAR ITEM

DATE: January 21, 2020

FROM: Michael Montgomery, Town Administrator

ITEM: Public hearing to consider an ordinance amending the Town of Bartonville Code of Ordinances, Chapter 14, Exhibit "A," Article 14.02, Ordinance 361-05, Zoning regulations, to change the zoning designation of Meadowlakes Farm Addition, Lots 2R & 3R, approximately 49.91 acres, from Agriculture District (AG) to Residential Estates 5 (RE-5). The tracts of land are located at 785 & 531 West Jeter, Bartonville, Texas. **(The Planning and Zoning Commission recommended approval by a vote of 5 to 0 at their January 8, 2020, meeting.)**

SUMMARY:

The Town received a request from property owner, Patrick Rodes, to rezone 49.91 acres on 785 & 531 E Jeter. The lots currently have residential homes. The purpose of this request is to subdivide from two lots into three total lots.

If the rezoning is approved, the applicant will need the following variance to subdivide the lots as proposed:

A variance from the zoning district requirements for Chapter 4, Zoning Districts, Section 4.8, Residential Development Standards, Chart 4.3, Minimum Street Frontage for Residential Estates 5 (RE-5) of three hundred feet (300') to allow a minimum street frontage of two hundred and forty six feet (246').

The tract is currently zoned Agriculture District (AG).

The requested zoning is Residential Estates 5 (RE-5) which complies with the Town's Land Use Plan.

LEGAL REVIEW: N/A

ATTACHMENTS:

- Applicant Request
- Location Map
- Published Legal Notice
- Letter to Residents within 200 feet
- Draft Ordinance

RECOMMENDATION: Move to approve/deny an ordinance amending the Town of Bartonville Code of Ordinances, Chapter 14, Exhibit "A," Article 14.02, Ordinance 361-05, Zoning regulations, to change the zoning designation of Meadowlakes Farm Addition, Lots 2R & 3R, approximately 49.91 acres, from Agriculture District (AG) to Residential Estates 5 (RE-5).



Town of Bartonville

Application for Zoning Map Amendment

All applications must be submitted in accordance with the Submission Schedule attached hereto.

Applicant (Owner or Agent, Specify): PATRICK RODES

Mailing Address: 785 W. JETER RD ARLING, TX 76226

Phone: [REDACTED] Fax: _____

Owner's Name(s) if different: _____

Owner's Address: _____

Phone: _____ Fax: _____

Engineer/Surveyor if applicable: _____

Mailing Address: _____

Phone: _____ Fax: _____

General Location of Property: _____

Legal Description of Property: MEADOW LAKE FARM ADDITION LOT 2R & 3R
(Attach Complete Metes and Bounds Description)

Nature and reason for Zoning Change: PROPERTY SUBDIVISION

Does this request conform with the adopted Land Use Plan? Yes No
If the change requested does not conform with the adopted Land Use Plan, you must submit a Land Use Plan Amendment Application.

Current Zoning: AG I hereby request that the Zoning Designation be changed to: RE-5
(If a PD is proposed, submit PD Application)

I hereby certify that the information concerning this proposed zoning change is true and correct and that I am the owner of record or the authorized¹ for the owner of the above described property.

[Signature] _____ Date 12/18/19

Signature of Applicant/Owner

STAFF USE ONLY:	
Date Submitted: <u>12-18-19</u>	Fee Paid: <u>\$400</u>
Accepted By: <u>MM</u>	Check No. : _____
P& Z Public Hearing: <u>1-8-20</u>	Metes & Bounds Attached: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Council Public Hearing: <u>1-21-20</u>	Notarized Statement: <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A

¹ A NOTARIZED statement that authorizes the agent to represent the owner(s) in this matter must be attached to this application.
TC Agenda Packet 01/21/2020

OWNERS CERTIFICATION

WHEREAS, Patrick Rodas is the owner of all that certain tract of land situated in the A. M. Fellus Survey, Abstract Number 1595, Town of Bartonville, Denton County, Texas, all of Lot 28 and Lot 3R of Meadowlakes Farm Addition, an addition to the Town of Bartonville, according to the plat thereof recorded in Cabinet Y, Page 710, Plat Records, Denton County, Texas, the subject tract being more particularly described as follows: BEGINNING at a capped iron rod set stamped "KAZ" in the South line of West Jeter Road for the Northwest corner of said Lot 2R, from which a 1/2" iron rod found for the Northeast corner of Lot 1 of Meadowlakes Farm Addition, an addition to said town, according to the plat thereof recorded in Cabinet Y, Page 724 of said Plat Record bears North 02 degrees 58 minutes 01 seconds West, a distance of 12.80 feet; THENCE along said South line, South 89 degrees 11 minutes 43 seconds East, a distance of 698.86 feet to a capped iron rod found; THENCE South 00 degrees 30 minutes 14 seconds East, 555.46 feet to a capped iron rod found stamped "ALLANCE"; THENCE South 89 degrees 37 minutes 48 seconds East, 48 seconds East, 220.95 feet to a wood fence corner post; THENCE North 00 degrees 25 minutes 52 seconds West, 555.43 feet to a capped iron rod set stamped "KAZ" in the South line of said West Jeter Road; THENCE along said South line, South 89 degrees 45 minutes 43 seconds East, 80.22 feet to a capped iron rod set stamped "KAZ"; THENCE South 00 degrees 28 minutes 47 seconds East, 555.39 feet to a capped iron rod found stamped "KAZ"; THENCE South 89 degrees 47 minutes 44 seconds East, 145.94 feet to a wood fence corner post at the Southwest corner of Lot 3 of said Meadowlakes Farm; THENCE along the common line of said Lot 3 and this tract, North 00 degrees 23 minutes 11 seconds West, 555.27 feet to a capped iron rod found at the Northwest corner of said Lot 3 and being in the South line of said West Jeter Road; THENCE along said South line, South 89 degrees 35 minutes 45 seconds East, 482.46 feet to a capped iron rod found at the Northeast corner of said Lot 3; THENCE North 00 degrees 22 minutes 55 seconds East, 579.58 feet to a capped iron rod found at the Southeast corner of said Lot 3; THENCE North 89 degrees 03 minutes 34 seconds East, 181.23 feet to a capped iron rod found; THENCE North 89 degrees 04 minutes 47 seconds West, 220.17 feet to a 1/2 inch iron rod found; THENCE North 89 degrees 04 minutes 47 seconds West, 220.17 feet to a 1/2 inch iron rod found; THENCE South 00 degrees 28 minutes 29 seconds East, 141.32 feet to a 1 inch iron rod found; THENCE North 45 degrees 30 minutes 57 seconds West, 202.55 feet to a capped iron rod set stamped "KAZ"; THENCE North 89 degrees 41 minutes 56 seconds West, 498.03 feet to a capped iron rod set stamped "KAZ"; THENCE North 02 degrees 58 minutes 01 seconds West, 1379.28 feet to the PLACE OF BEGINNING and containing 49.91 acres of land more or less.

OWNERS DEDICATION

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS: THAT PATRICK RODES, ACTING HEREIN BY AND THROUGH THEIR DULY AUTHORIZED OFFICERS, DOES HEREBY ADOPT THIS REPLAT DESIGNATING THE HEREIN ABOVE DESCRIBED PROPERTY AS MEADOWLAKES FARM, AN ADDITION TO THE TOWN OF BARTONVILLE, TEXAS, NO BUILDINGS, FENCES, TREES, SHRUBS OR OTHER IMPROVEMENTS OR GROWTHS SHALL BE CONSTRUCTED OR PLACED UPON OVER OR ACROSS THE BASEMENTS AS SHOWN, EXCEPT THAT LANDSCAPE IMPROVEMENTS MAY BE PLACED IN LANDSCAPE ELEMENTS IF APPROVED BY THE TOWN OF BARTONVILLE. IN THE ADDITION, UTILITY BASEMENTS MAY ALSO BE USED FOR THE NATURAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES DESIGNED TO USE OR USING THE SAME UNLESS THE EASEMENT LIMITS THE ENTITIES SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PARTS OF ANY BUILDINGS, FENCES, TREES, SHRUBS OR OTHER IMPROVEMENTS OR GROWTHS WHICH MAY IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE OR EFFICIENCY OF THEIR RESPECTIVE SYSTEMS IN SAID EASEMENTS. THE TOWN OF BARTONVILLE AND PUBLIC UTILITY ENTITIES SHALL AT ALL TIMES HAVE THE FULL RIGHT OF INGRESS AND EGRESS TO OR FROM THEIR RESPECTIVE EASEMENTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING, READING METERS, AND ADDING TO OR REMOVING ALL OR PARTS OF THEIR RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME PROCURING PERMISSION FROM ANYONE.

THIS PLAT APPROVED SUBJECT TO ALL PLATTING ORDINANCES, RULES, REGULATIONS AND RESOLUTIONS OF THE TOWN OF BARTONVILLE, TEXAS. WITNESS, MY HAND, THIS 8TH DAY OF APRIL, 2019.

PATRICK RODES STATE OF TEXAS COUNTY OF DENTON

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, ON THIS DAY PERSONALLY APPEARED PATRICK RODES, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS HEREIN.

WITNESS MY HAND AND SEAL OF OFFICE THIS 8TH DAY OF APRIL, 2019. NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS DENTON COUNTY MY COMMISSION EXPIRES ON 4/28/2020

STATE OF TEXAS COUNTY OF DENTON

I, MICHAEL R. KERSTEN, REGISTERED PROFESSIONAL LAND SURVEYOR, DOES HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM AN ACTUAL SURVEY MADE ON THE GROUND AND THAT THE MONUMENTS SHOWN HEREON WERE FOUND OR PLACED WITH CAPPED 1/2" IRON RODS STAMPED "KAZ" UNDER MY DIRECTION AND SUPERVISION IN ACCORDANCE WITH THE ORDINANCES OF THE TOWN OF BARTONVILLE, DENTON COUNTY, TEXAS.

MICHAEL R. KERSTEN R.P.L.S. # 6877 DATE 4/8/2019

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED MICHAEL R. KERSTEN, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE THIS 8TH DAY OF APRIL, 2019. NOTARY PUBLIC, DENTON COUNTY, TEXAS. MY COMMISSION EXPIRES _____

EXHIBIT ONLY

REPLAT LOTS 2R-1, 3R-1 & 3R-2 MEADOWLAKES FARM ADDITION

BEING 49.91 ACRES OUT OF THE A.M. FELTUS SURVEY, ABSTRACT NUMBER 1595, TOWN OF BARTONVILLE, DENTON COUNTY, TEXAS

KAZ SURVEYING logo and contact information: 1720 WESTMINSTER DENTON, TX 76205 (940) 382-3446

Surveyor information: JOB NUMBER: 060744RP DRAWN BY: JK DATE: 4-8-2019 R.P.L.S. MICHAEL R. KERSTEN

VICINITY MAP NOT TO SCALE showing surrounding areas like DUNHAM, STONECREST, HARPOLE, HILLTOP, etc.

LEGEND: UE = UTILITY EASEMENT, DE = DRAINAGE EASEMENT, BL = BUILDING LINE, etc.

Scale bar and North arrow.

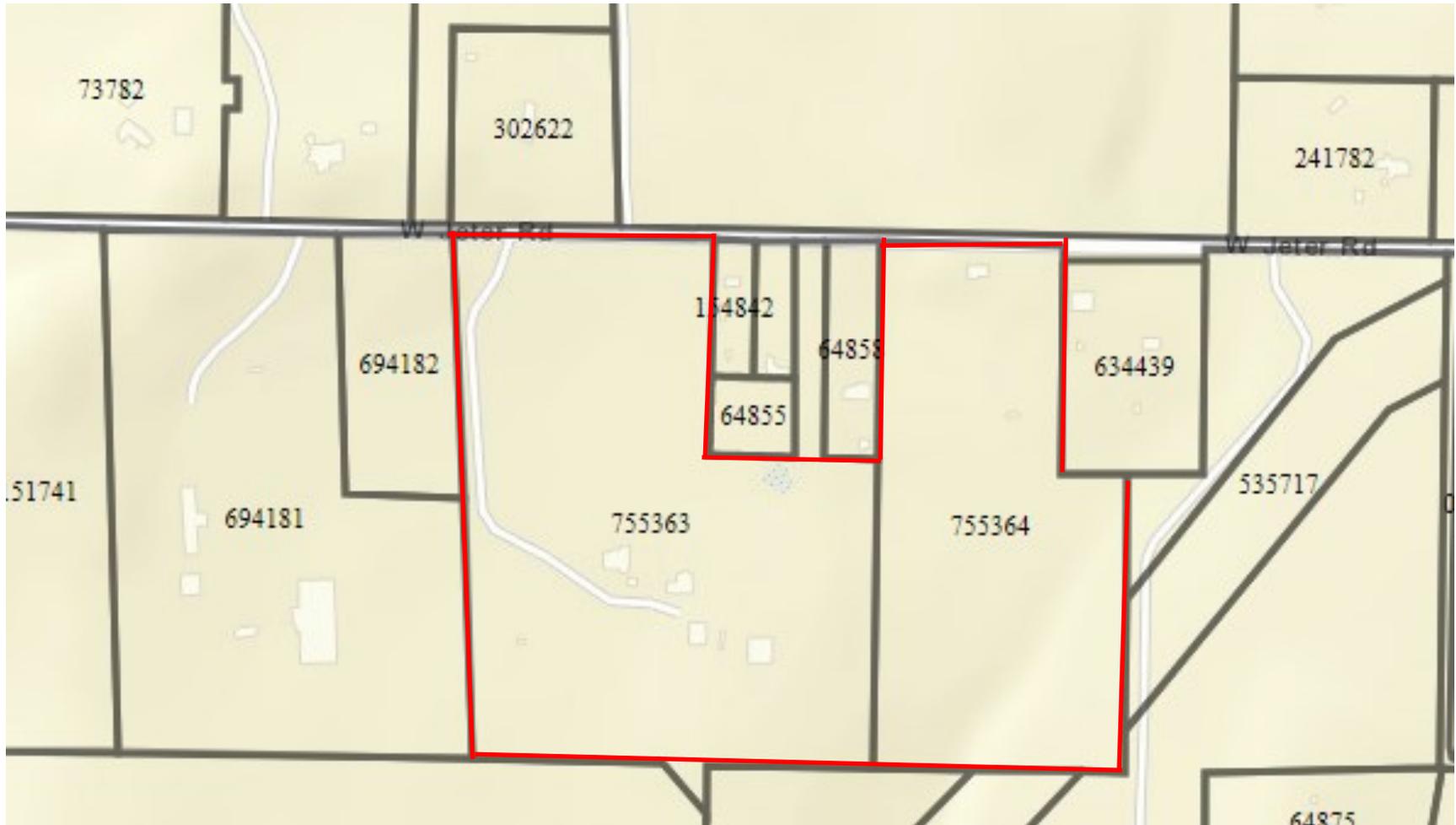
SURVEYOR: KAZ SURVEYING, INC. 1720 WESTMINSTER STREET DENTON, TEXAS 76205 PHONE: (940) 382-3446 TPLS #RN# 140022100

OWNER: PATRICK RODES 785 W. JETER ROAD BARTONVILLE, TX 76226 PHONE: (940) 397-1217

DEVELOPMENT PLAT APPROVED BY: TOWN COUNCIL TOWN OF BARTONVILLE, TEXAS

CHAIRMAN DATE MAYOR DATE ATTEST: TOWN SECRETARY DATE

Large graphic area for signatures and stamps.



Change of Zoning Designation

Meadowlakes Farm Addition, Lots 2R & 3R, approximately 49.91 acres, from Agriculture District (AG) to Residential Estates 5 (RE-5)
The tracts of land are located at 785 & 531 West Jeter, Bartonville, Texas.

DENTON RECORD-CHRONICLE
P.O. BOX 369
DENTON TX 76202
(940)566-6800

ORDER CONFIRMATION (CONTINUED)

Salesperson: David Payne

Printed at 12/19/19 15:54 by dpayn-dm

Acct #: 232

Ad #: 23191

Status: New WHOLD WHOI

The Planning and Zoning Commission for the Town of Bartonville, Texas, will conduct the first of two public hearings at 7:00 p.m. on Wednesday, January 8, 2020, at Bartonville Town Hall, 1941 E. Jeter Road, Bartonville, Texas, to hear public comment and consider recommendations to the Town Council regarding an Ordinance amending the Town of Bartonville Code of Ordinances, Chapter 14, Exhibit "A," Article 14.02, Ordinance 361-05, Zoning regulations, to change the zoning designation of Meadowlakes Farm Addition, Lots 2R & 3R, approximately 49.91 acres, from Agriculture District (AG) to Residential Estates 5 (RE-5). The tracts of land are located at 785 & 531 West Jeter, Bartonville, Texas. The Town Council will conduct a second Public Hearing at 7:00 p.m. on Tuesday, January 21, 2020, at Bartonville Town Hall, 1941 E. Jeter Road, Bartonville, Texas, to hear public comment and consider the change of the zoning designation and recommendations of the Planning and Zoning Commission. All interested parties are encouraged to attend.

drc 12/23/2019



December 30, 2019

RE: Change of Zoning Designation request for 49.94-acres of land described as Meadlowlakes Farm Addition, Lots 2R & 3R, Town of Bartonville, Denton County, Texas and is located at 785 & 531 W Jeter, Bartonville, Texas.

Dear Property Owner,

Per the Denton Central Appraisal District records, you own property (Property ID 535715) within two hundred feet (200') of the property described in the notice below. The owner of the property has made application for a change of zoning designation.

You are invited to attend and participate in the following public hearing regarding this application:

The Planning and Zoning Commission for the Town of Bartonville, Texas, will conduct the first of two public hearings at **7:00 p.m. on Wednesday, January 8, 2020, at Bartonville Town Hall, 1941 E. Jeter Road, Bartonville, Texas**, to hear public comment and consider recommendations to the Town Council regarding an Ordinance amending the Town of Bartonville Code of Ordinances, Chapter 14, Exhibit "A," Article 14.02, Ordinance 361-05, Zoning regulations, to change the zoning designation of Meadlowlakes Farm Addition, Lots 2R & 3R, approximately 49.91 acres, from Agriculture District (AG) to Residential Estates 5 (RE-5). The tracts of land are located at 785 & 531 West Jeter, Bartonville, Texas. The Town Council will conduct a second Public Hearing at **7:00 p.m. on Tuesday, January 21, 2020, at Bartonville Town Hall, 1941 E. Jeter Road, Bartonville, Texas**, to hear public comment and consider the change of the zoning designation and recommendations of the Planning and Zoning Commission. All interested parties are encouraged to attend.

Should you have any questions regarding this matter, please feel free to contact me at 817.693.5280.

Sincerely,

Michael Montgomery
Town Administrator

Enclosure: Location Map

**TOWN OF BARTONVILLE
ORDINANCE NO. _____-19**

AN ORDINANCE OF THE TOWN OF BARTONVILLE, TEXAS, AMENDING THE TOWN OF BARTONVILLE CODE OF ORDINANCES, CHAPTER 14, ARTICLE 14.02, EXHIBIT "A," THE ZONING ORDINANCE, BY CHANGING THE ZONING DESIGNATION ON APPROXIMATELY 49.91 ACRES OF LAND SITUATED MEADOWLAKES FARM ADDITION, LOTS 2R & 3R, DENTON COUNTY, TEXAS, LOCATED AT 785 & 531 WEST JETER ROAD WITHIN THE LIMITS OF THE TOWN OF BARTONVILLE, DENTON COUNTY, TEXAS, BEING MORE PARTICULARLY DESCRIBED IN EXHIBIT "A" ATTACHED HERETO, FROM A ZONING DESIGNATION OF "AG" AGRICULTURE TO A ZONING DESIGNATION OF "RE-5" RESIDENTIAL ESTATES 5, AND BY AMENDING THE OFFICIAL ZONING MAP TO REFLECT SUCH CHANGE; PROVIDING A REPEALING CLAUSE; PROVIDING A SAVINGS CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR ENGROSSMENT AND ENROLLMENT; PROVIDING FOR PUBLICATION; PROVIDING FOR A PENALTY; PROVIDING FOR NO VESTED RIGHTS; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Town of Bartonville, Texas, is a Type A General Law Municipality located in Denton County, Texas, created in accordance with provisions of the Texas Local Government Code and operating pursuant to the enabling legislation of the State of Texas; and

WHEREAS, the Town of Bartonville, Texas, is a general law municipality empowered under the Texas Local Government Code, Section 51.001, to adopt an ordinance or rule that is for the good government of the Town; and

WHEREAS, the Planning and Zoning Commission of the Town of Bartonville and the Town Council of the Town of Bartonville, in compliance with state law, have given the requisite notice by publication and otherwise, and after holding due public hearings and affording full and fair hearings to all property owners generally, the Town Council of the Town of Bartonville is of the opinion that said zoning ordinance should be amended as provided herein.

NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF BARTONVILLE, TEXAS, THAT:

**SECTION 1.
INCORPORATION OF PREMISES**

The above and foregoing premises are true and correct legislative determinations and are incorporated herein and made a part hereof for all purposes.

**SECTION 2.
ZONING ORDINANCE AMENDED**

The Code of Ordinances of the Town of Bartonville, Texas, shall be and the same is hereby amended by changing the zoning classification on approximately 49.91 acres of land situated in the Meadowlakes Farm Addition, Lots 2R & 3R, Denton County, Texas, located at 785 & 531 West Jeter Road within the limits of the Town of Bartonville, Denton County, Texas, being more particularly described in Exhibit "A" attached hereto and incorporated herein for all purposes, from a zoning designation of "AG" Agricultural to a zoning designation of "RE-5" Residential Estates 5.

**SECTION 3.
OFFICIAL ZONING MAP AMENDED**

The Town Secretary is hereby directed to amend the official zoning map to reflect the changes in zoning classification approved by this Ordinance.

**SECTION 4.
REPEALING CLAUSE**

All provisions of the Ordinances of the Town of Bartonville, Texas, in conflict with the provisions of this Ordinance shall be, and the same are hereby, repealed, and all other provisions not in conflict with the provisions of this Ordinance shall remain in full force and effect.

**SECTION 5.
SEVERABILITY**

It is hereby declared to be the intention of the Town Council of The Town of Bartonville, Texas, that the phrases, clauses, sentences, paragraphs, and sections of this Ordinance are severable, and if any phrase, clause, sentence, paragraph, or section of this Ordinance should be declared unconstitutional by the valid judgment or decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs, or sections of this Ordinance, since the same would have been enacted by the Town Council without incorporation in this Ordinance of any such unconstitutional phrase, clause, sentence, paragraph, or section.

**SECTION 6.
SAVINGS**

An offense committed before the effective date of this Ordinance is governed by prior law and the provisions of the Comprehensive Zoning Ordinance, as amended, in effect when the offense was committed and the former law is continued in effect for this purpose.

**SECTION 7.
ENGROSSMENT AND ENROLLMENT**

The Town Secretary of the Town of Bartonville is hereby directed to engross and enroll this Ordinance by copying the exact Caption and the Effective Date clause in the minutes of the Town Council of the Town of Bartonville and by filing this Ordinance in the Ordinance records of the Town.

**SECTION 8.
PUBLICATION**

The Town Secretary of the Town of Bartonville is hereby directed to publish in the Official Newspaper of the Town of Bartonville the Caption and the Effective Date of this Ordinance for two (2) days.

**SECTION 9.
PENALTY**

Any person, firm or corporation violating any of the provisions or terms of this Ordinance shall be subject to the same penalty as provided for in the Code of Ordinances of the Town of Bartonville, Texas, as heretofore amended, and upon conviction shall be punished by a fine not to exceed the sum of two thousand dollars (\$2,000.00) for each offense; and each and every day such violation shall continue shall be deemed to constitute a separate offense.

**SECTION 10.
NO VESTED RIGHTS**

No person or entity shall acquire any vested rights in this Ordinance or any specific regulations contained herein. This Ordinance and any regulations may be amended or repealed by the Town Council of the Town of Bartonville, Texas, in the manner provided by law.

**SECTION 11.
EFFECTIVE DATE**

This Ordinance shall take effect immediately from and after its passage and publication, as the law provides.

AND IT IS SO ORDAINED.

Ordinance No. _____

Page 4

PASSED AND APPROVED on this the 21st day of January, 2020.

APPROVED:

Bill Scherer, Mayor

(Seal)

ATTEST:

Tammy Dixon, Town Secretary

Exhibit A

WHEREAS, Patrick Rodes is the owner of all that certain tract of land situated in the A. M. Feltus Survey, Abstract Number 1595, Town of Bartonville, Denton County, Texas, all of Lot 2R and Lot 3R of Meadowlakes Farm Addition, an addition to the Town of Bartonville, according to the Replat thereof recorded in Cabinet Y, Page 710, Plat Records, Denton County, Texas, the subject tract being more particularly described as follows:

BEGINNING at a capped iron rod set stamped "KAZ" in the South line of West Jeter Road for the Northwest corner of said Lot 2R, from which a 1/2" iron rod found for the Northeast corner of Lot 1 of Meadowlakes Farm Addition, an addition to said Town, according to the plat thereof recorded in Cabinet I, Page 234 of said Plat Records bears North 02 degrees 58 minutes 01 seconds West, a distance of 12,90 feet;

THENCE along said South line, South 89 degrees 51 minutes 43 seconds East, a distance of 898.86 feet to a capped iron rod found;

THENCE South 00 degrees 30 minutes 14 seconds East, 555.46 feet to a capped iron rod found stamped "ALLIANCE";

THENCE South 89 degrees 37 minutes 48 seconds East, 220.95 feet to a wood fence corner post;

THENCE North 00 degrees 25 minutes 52 seconds West, 555.43 feet to a capped iron rod set stamped "KAZ" in the South line of said West Jeter Road;

THENCE along said South line, South 89 degrees 45 minutes 43 seconds East, 80.22 feet to a capped iron rod set stamped "KAZ";

THENCE South 00 degrees 26 minutes 47 seconds East, 555.39 feet to a capped iron rod found stamped "KAZ";

THENCE South 89 degrees 47 minutes 44 seconds East, 145.94 feet to a wood fence corner post at the Southwest corner of Lot 3 of said Meadowlakes Farm;

THENCE along the common line of said Lot 3 and this tract, North 00 degrees 23 minutes 11 seconds West, 555.27 feet to a capped iron rod found at the Northwest corner of said Lot 3 and being in the South line of said West Jeter Road;

THENCE along said South line, South 89 degrees 35 minutes 45 seconds East, 492.46 feet to a capped iron rod found at the Northeast corner of said Lot 3;

THENCE South 00 degrees 22 minutes 55 seconds East, 579.58 feet to a capped iron rod found at the Southeast corner of said Lot 3;

THENCE North 89 degrees 30 minutes 34 seconds East, 181.23 feet to a capped iron rod found;

THENCE South 00 degrees 12 minutes 25 seconds East, 813.41 feet to a 1/2 inch iron rod found;

THENCE North 89 degrees 03 minutes 16 seconds West, 896.96 feet to a 1/2 inch iron rod found;

THENCE North 89 degrees 04 minutes 47 seconds West, 220.17 feet to a 1/2 inch iron rod found;

THENCE South 00 degrees 28 minutes 29 seconds East, 141.32 feet to a 1 inch iron rod found;

THENCE North 45 degrees 30 minutes 57 seconds West, 202.55 feet to a capped iron rod set stamped "KAZ";

THENCE North 89 degrees 41 minutes 58 seconds West, 496.03 feet to a capped iron rod set stamped "KAZ";

THENCE North 02 degrees 58 minutes 01 seconds West, 1379.28 feet to the PLACE OF BEGINNING and containing 49.91 acres of land more or less;

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TOWN COUNCIL AGENDA ITEM NO. 9

REGULAR ITEM

DATE: January 21, 2020

FROM: Michael Montgomery, Town Administrator

ITEM: Discussion on Equestrian Centers

SUMMARY:

Councilman Traylor requested discussion of equestrian centers within Bartonville.

Below is the current definition within the Zoning Ordinance as well as classification within the Land Use Table.

Equestrian Center. A building, land or facilities regularly used for equestrian activities, including but not limited to the boarding, schooling, training, hiring, selling, showing, competing or exhibition of horses or ponies.

Minimum Parcel Size for Equestrian Center or Animal-Assisted Therapy Uses: An application for a CUP to allow an equestrian center or animal-assisted therapy use shall not be granted unless the application is for 5 or more acres.

Zoning District										
AG	RE-5	RE-2	R-1	RLI	RB	RS	VC	GC	MH	P/SP
C	C	C	*	*	*	*	*	*	*	*

C = Conditional Use Permit

* = Prohibited

LEGAL REVIEW:

N/A

ATTACHMENTS:

N/A

RECOMMENDATION: Discussion only.